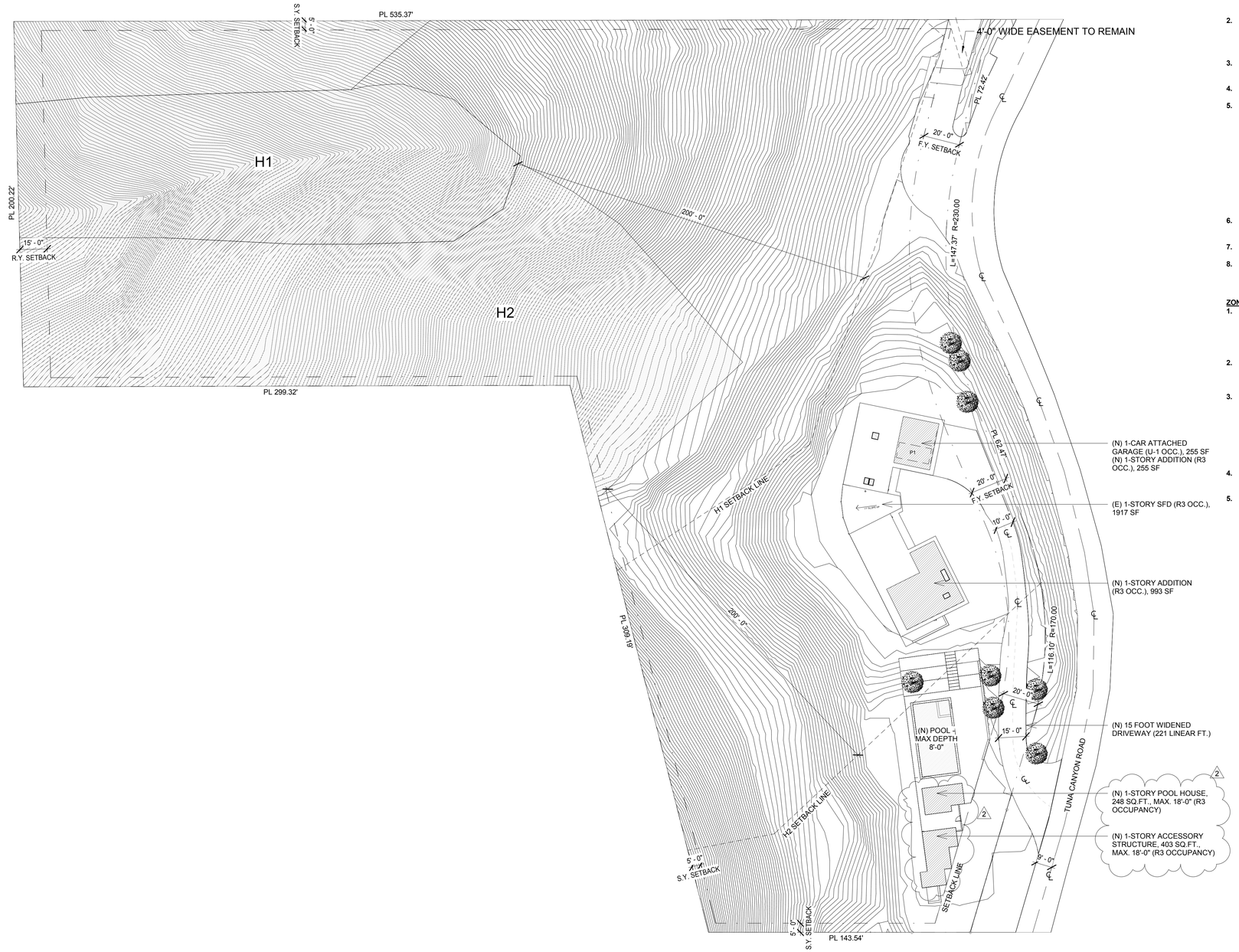
3045 TUNA CANYON ROAD, TOPANGA, CA 90290

HERZIG GOLD

SEPT. 25, 2020

SHEET LIST



11 PLOT PLAN

SCALE: 1" = 30'-0"

SUMMARY OF WORK

NEW WORK CONSISTS OF THE CONSTRUCTION OF (2) NEW 1-STORY ADDITIONS TO THE EXISITING RESIDENCE, A (N) NEW POOL HOUSE AND A (N) ACCESSORY STRUCTURE. SITE WORK WILL INCLUDE A NEW POOL AND (1) NEW RETAINING WALL WITH A MAXIMUM HEIGHT OF 10'-0".

BUILDING CODE NOTES:

1. REFERENCE CODES
- 1.1 2019 CALIFORNIA RESIDENTIAL CODE
- 1.2 2019 CALIFORNIA MECHANICAL CODE
- 1.3 2019 CALIFORNIA PLUMBING CODE
- 1.4 2019 CALIFORNIA ELECTRICAL CODE
- 1.5 2019 CALIFORNIA TITLE-24 ENERGY CODE
- 1.6 CAL/ OSHA

2. DEFERRED SUBMITTALS: (UNDER SPERATE PERMIT)
- 2.1 MECHANICAL
- 2.2 PLUMBING
- 2.3 ELECTRICAL
- 2.4 FIRE SPRINKLERS (NFPA 13D REQ.)

3. OCCUPANCY TYPE
- 3.1 R-3
- 3.2 U-1

4. CONSTRUCTION TYPE
- 4.1 V-B

5. FIRE RESISTANCE
- 5.1 PER TABLE 601, ALL STRUCTURE, COLUMNS, WALLS, PARTITIONS, FLOORS, AND ROOFS REQUIRE 0-HOUR FIRE RESISTANCE RATING.
- 5.2 THERE ARE NO FIRE SEPARATION DISTANCES < 5'-0"
  - 5.3.1 NO EXTERIOR WALLS REQUIRE FIRE RATING
  - 5.3.2 THERE IS NO LIMIT TO PROTECTED OR UNPROTECTED OPENINGS.
- 5.4 THE FOLLOWING WALLS WILL HAVE A (1)-HOUR FIRE RATING.
  - 5.4.1 THE WALLS AND CEILING BETWEEN THE GARAGE AND ADJACENT SPACES.
  - 5.4.2 THE WALLS/ SOFFIT IN ENCLOSED AREAS BELOW STAIRCASES.

6. BUILDING HEIGHT
- 6.1 ALLOWABLE BUILDING HEIGHT — 18'-0" MAX.
- 6.2 PROPOSED HEIGHT (SEE ELEVATIONS) — 15'- 0"

7. BASEMENT
- 7.1 THE PROJECT CONTAINS (0) BASEMENT

8. SOILS REPORT
- 8.1 THE SOILS REPORT FOR THE PROJECT HAS BEEN COMPLETED BY FEFFER CONSULTING AND COMPLETED ON JULY 22, 2019.

ZONING CODE NOTES:

1. LEGAL DESCRIPTION
- 1.1 LOT: 67
- 1.2 TRACT: 800506
- 1.3 APN: 4448-007-067
- 1.4 ZONING: R-C-20
- 1.5 PARCEL AREA 163,981 SQ. FT.

2. SETBACKS
- 2.1 FRONT YARD SETBACK: 20'-0"
- 2.2 REAR YARD SETBACK 15'-0"
- 2.3 SIDE YARD SETBACK 5'-0"

3. BUILDING AREA
- 3.1 *INTERIOR*
  - MAIN HOUSE 1917 SF EXISTING
  - MAIN HOUSE ADDITION 1248 SF ADDITION
  - POOL HOUSE 248 SF
  - ACCESSORY STRUCTURE 403 SF
  - ATTACHED GARAGE ADDITION 255 SF (2)
- 3.2 TOTAL SF 4,071 SF
- 3.3 SEE T004 FOR DIAGRAMS

4. PARKING REQUIREMENTS
- 4.1 0 PARKING SPACES REQUIRED
- 4.2 1 PARKING SPACE PROVIDED

5. GRADING
- 5.1 281 CU. YD. EXPORT (SEE CIVIL) (2)

PROJECT LOCATION:

3045 TUNA CANYON ROAD
TOPANGA, CA 90290

10 VICINITY MAP

SCALE: 1" = 1'-0"

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT CORR.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
3045 TUNA CANYON ROAD,
TOPANGA, CA 90290

OWNER:
LEIGH HERZIG AND SETH GOLD
3045 TUNA CANYON ROAD
917.690.2061

CONSULTANTS

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t: 562.856.1910

Date: SEPT. 25, 2020
Project No.: 3045

Sheet Title
PLOT PLAN/ PROJECT INFO

T001

LEGEND

	CENTERLINE
	FENCE LINE
	PROPERTY LINE
	EXISTING BUILDING
	WALL
	ELECTRIC VAULT/PULL BOX
	FOUND OR SET MONUMENT AS NOTED
	GUY ANCHOR OR POLE
	MAIL BOX
	PALM TREE
	UTILITY POLE
	TREE
	CAR CHARGER
FS	FINISHED SURFACE
FF	FINISHED FLOOR
FL	FLOWLINE
NG	DIRT
TC	TOP OF CURB

FOR REVIEW AND COMMENT ONLY

HOOSHMAND JAHANPOUR-BURKE, LS 8230 DATE

LEGAL DESCRIPTION:

BEING A PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 1 SOUTH, RANGE 17 WEST, S.B.M. CALIFORNIA.

BENCHMARK:

LOS ANGELES COUNTY BENCHMARK NO. 1830.972,
(2") IP W/CONC PLUG & DPW TAG IN WELL 200MM(0.7') DN 5.5M(18') S/O TUNA CANYON RD & 2.5M(8') W/O C/L PROD SADDLE PEAK RD.
ELEVATION= 1831.433'

APPROVED BY:

REVISIONS

DATE

H.J. BURKE, INC.

4079 N. RANCHO DRIVE, # 150, LAS VEGAS, NEVADA 89130
T: (310) 633-1213 T: (702) 452-8753 F: (702) 562-9876 EMAIL: info@hjburke.com

DRAWN BY: AMIN DATE OF SURVEY: 11-08-2018
CHECKED BY: JOHN DWG. NAME: 3045 TUNA CANYON RD

TOPOGRAPHIC SURVEY

3045 TUNA CANYON ROAD MALIBU, CALIFORNIA

SHEET:
1 OF 1

GENERAL NOTES AND CONDITIONS:

1 THE WORD 'CONTRACTOR' MEANS THE GENERAL CONTRACTOR, AND WHERE APPLICABLE BY TRADE, SUBCONTRACTORS.

2 IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES AS THEY AFFECT ONE ANOTHER. CONTRACTOR SHALL BE USED TO REPRESENT ALL THE SUBCONTRACTORS, MATERIAL SUPPLIERS AND OTHER TRADES NECESSARY FO...

3 CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL NOTES PRIOR TO FINALIZING CONSTRUCTION CONTRACT.

4 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, OR PROCEDURES TO PERFORM HIS/HER WORK.

5 CONTRACTOR IS TO PROVIDE THE ARCHITECT AND ANY OTHER MEMBER OF THE DESIGN TEAM, A 48-HOUR MINIMUM ADVANCE NOTICE PERIOD FOR ALL REQUESTED AND...

6 THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT HIMSELF AND HOLD THE OWNER AND ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES OF PERSONAL OR BODILY INJURY, OR DEATH, O...

7 NOTHING CONTAINED IN THESE DRAWINGS OR IN ANY ACCOMPANYING CONTRACT DOCUMENTS SHALL CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN THE...

8 THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY APPLICABLE CODE, CITY ORDINANCES OR STATE LAWS. IF THE CONTRACTOR PERFORMS ANY WORK CONTRARY TO APPLICABLE LAWS, ORDINANCES, AND RULES AND REGULATIONS, WITHOUT GIVING PRIOR WRITTEN NOTICE TO THE ARCHITECT , S/HE SHALL ASSUME FULL RESPONSIBILITY THEREIN, AND WILL...

9 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL BY THE BUILDING INSPECTOR OF ALL CONCEALED WORK BEFORE CLOSING UP.

10 THE OWNER SHALL PAY FOR AND THE CONTRACTOR SHALL ACQUIRE THE BUILDING PERMIT. THE CONTRACTOR SHALL ACQUIRE ALL OTHER PERMITS, COMPLIANCE REQUIREMENTS, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH...

11 ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY THE PROJECT ENGINEERING GEOLOGIST AND/OR PROJECT GEOTECHNICAL ENGINEER PRIOR TO...

12 ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING BUILDING CODES AND REGULATIONS.

13 ALL PAINT, STAIN AND OTHER MATERIALS MUST COMPLY WITH LOCAL, STATE, AND FEDERAL AIR POLLUTION CONTROL MANDATES.

14 THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACES, SHORING AND GUYS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURE AND COMPONENTS, ADJACENT SOILS AND STRUCTURES, UTILITIES AND...

15 CONTRACTOR SHALL KEEP PREMISES SECURE, CLEAN AND HAZARD FREE AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE DAY. WORK SHALL BE PERFORMED IN A SAFE MANNER OBSERVING ALL STANDARD OSHA CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EQUIPMENT, MATERIALS AND WORK IN NEAT, CLEAN,...

16 AT THE COMPLETION OF CONSTRUCTION, REMOVE ALL EXCESS MATERIALS AND REFUSE FROM THE SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT, AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER. UPON COMPLETION OF WORK, ALL WORK AREAS SHALL BE LEFT BROOM CLEAN AND DEBRIS SHALL ...

17 THE CONTRACTOR SHALL PROVIDE THE NECESSARY STORAGE SPACE FOR THE PROTECTION OF DOCUMENTS, TOOLS, AND MATERIALS AT THE SITE.

18 CONTRACTOR SHALL PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES ON THE JOB SITE IF NECESSARY OR REQUIRED BY LOCAL CODE.

19 BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE LEGIBLE FROM THE STREET. (SECTION 501.2)

20 THE PLUMBING AND ELECTRICAL SUBCONTRACTORS SHALL PROVIDE AND INSTALL ROUGH PLUMBING AND FINAL HOOK-UP FOR ALL THE SPECIFIED FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS AND ALL OTHER ITEMS REQUIRE...

21 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER. CONTRACTOR SHALL PROVIDE THE OWNER WITH A FULL CONSTRUCTION SCHEDULE PRIOR TO THE START OF ANY WORK. THE CONSTRUCTION SCHEDULE SHALL BE UP TO DATE AT ALL TIMES AND BE PRINTED AND ON SITE AND/OR AVAILABLE TO THE OWNER AT ALL TIMES. THE CONTRACTOR SHALL NOTI...

22 THE GENERAL CONTRACTOR SHALL MAINTAIN A FULL SET OF DRAWINGS, SPECIFICATIONS, AND APPROVED SHOP DRAWINGS AND ALL REQUIRED PERMITS AND PERMIT DRAWINGS ON THE JOBSITE AT ALL TIMES. THEY SHALL BE MADE AVAILABLE TO THE OWNER AND ARCHITECT ON...

23 BEFORE SUBMITTING ANY PROPOSAL, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FAMILIARIZED HIM/HERSELF WITH ALL CONDITIONS AT THE SITE RELATIVE TO EXITING WORK, MATERIALS TO BE MATCHED, WORKING SPACE AVAILABLE, ACCESS, AND ALL OTHER ASPECTS AFFECTING THE SCOPE OF THE WORK TO THE MAKING OF AN INTELLIGENT BID. NO INCREASE IN COST OR EXTENSION IN PERFORMANCE TIME WILL BE...

24 CONTRACTOR SHALL ERECT AND MAINTAIN TEMPORARY BARRICADES AND DUST-PROOF PARTITIONS A NEEDED FOR PROTECTION AGAINST ACCIDENT, AND SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF HIS WORK AND THE OWNER'S PROPERTY FROM DAMAGE OR...

25 UNLESS ITEMS ARE SPECIFICALLY ITEMIZED IN CONTRACT DOCUMENTS AS NOT IN CONTRACT (NIC), THEY WILL BE ASSUMED TO BE INCLUDED IN THE ESTIMATE OR CONTRAC...

26 ANY ALLOWANCE ITEMS SHALL BE SPECIFICALLY IDENTIFIED AS ALLOWANCE AND INCLUDED IN THE ESTIMATE OR CONTRACT PRICE.

27 CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OF ANY EXTRA COSTS ARISING FROM THE EXECUTION OF HIS CONTRACT OR SUBCONTRACTS AND SHALL RECEIVE OWNER'S WRITTEN APPROVAL OF SAME PRIOR TO...

28 CONTRACTOR SHALL NOT USE ANY POTENTIALLY HAZARDOUS MATERIAL OR PRODUCTS IN THE CONSTRUCTION AND SHALL ADVISE OWNER OF ANY POTENTIALLY HAZARDOUS MATERIAL OR PRODUCTS RECOMMENDED, SELECTED, OR SPECIFIED PRIOR TO...

29 NO HAZARDOUS MATERIALS WILL BE STORED AN/OR USED WITHIN THE BUILDING WHICH EXCEED THE QUANTITIES AS REGULATED BY APPLICABLE CODES OR GREEN BUILDING...

30 THE CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE JOB SITE WHENEVER ANY WORK UNDER THIS CONTRACT IS BEING PERFORMED IN ORDER TO PROVIDE CONSTANT...

31 EACH TRADE SHALL HAVE A COMPETENT FOREMAN IN CHARGE OF WORK ON THE JOB AT ALL TIMES.

32 ALL WORK TO BE CAREFULLY EXECUTED BY MECHANICS SKILLED IN THE TRADES(S) INVOLVED, AND SHALL BE PLUMB, STRAIGHT, RIGID, WELL-SECURED, TRUE TO LINE...

33 CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION WITH OTHER TRADES AND THEIR WORK TO ENSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, ELECTRICAL, PLUMBING, ETC. EQUIPMENT...

34 CONTRACTOR SHALL PROPERLY PROTECT ALL WORK AND PROMPTLY MAKE GOOD ANY IMPROPER WORK OR WORK DEVIATING FROM THE CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR ANY PENALTIES...

35 THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION DURING CONSTRUCTION AS REQUIRED BY THE GOVERNING MUNICIPALITY OR THE OWNER.

36 THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL BELOW GRADE UTILITIES AND THE LOCATIONS OF RELATED SERVICE CONNECTIONS WITH RESPECTIVE UTILITY COMPANIES. EMERGENCY PHONE NUMBERS SHALL BE...

37 THE CONTRACTOR SHALL COORDINATE THE REMOVAL, ABANDONMENT AND/OR RELOCATION OF EXISTING UTILITIES ABOVE OR BELOW GRADE WITH THE OWNER.

38 WHERE WORK OR EQUIPMENT IS INDICATED NIC (NOT IN CONTRACT) ON THE DRAWINGS, SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OWNER OR ANOTHER CONTRACT. CONTRACTOR SHALL COORDINATE AND COOPERATE TO AFFECT SUCH INSTALLATION INCLUDING...

39 CONTRACTOR SHALL PROVIDE AND COORDINATE ALL ROUGH-INS FOR THE OWNER-FURNISHED AND OWNER-INSTALLED EQUIPMENT AS PER SUPPLIER'S...

40 CONTRACTOR SHALL FURNISH ALL WORK AS SPECIFIED, EXCEPT AS MODIFIED BY CHANGE ORDERS OR ADDENDA. SUBSTITUTIONS WILL BE ALLOWED ONLY WRITTEN APPROVAL WHERE CONTRACTOR IS ALLOWED TO PROPOSE "OR EQUAL" WORK OR PRODUCTS. CONTRACTOR SHALL BEAR ALL LIABILITY FOR ANY TESTING REQUIRED AND PROVING TO THE ARCHITECT'S OR OWNER'S SATISFACTION THAT THE PROPOSED INSTALLATION IS EQUAL TO OR BETTER THAN THAT ORIGINALLY REQUIRED. THE...

41 CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY EXISTING IMPROVEMENTS TO CONSTRUCT NEW WORK WHETHER SHOWN ON THE DRAWINGS OR NOT, UNLESS SPECIFICALLY EXCLUDED FROM THE CONSTRUCTION...

42 PENETRATIONS OF FIRE RESISTIVE WALLS, FLOOR-CEILING ASSEMBLIES, AND CEILING-ROOF ASSEMBLIES SHALL BE PROTECTED AS REQUIRED IN CHAPTER 7 OF THE CBC.

43 THE REINFORCING WIRE MESH, THE PLAIN AND DEFORMED REINFORCING STEEL BARS AND THE STRUCTURAL STEEL SHAPES DELIVERED TO THE JOB SITE FOR USE IN THE CONSTRUCTION OF THE STRUCTURE MUST BE ACCOMPANIED WITH MILL CERTIFICATES, PREPARED BY AN APPROVED TESTING AGENCY, WHICH DOCUMENT THE MATERIAL STRENGTHS AND CHEMICAL COMPOSITIONS...

44 WHERE DESIGNS THAT INDUCE TENSION STRESSES PERPENDICULAR TO THE WOOD GRAIN CANNOT BE AVOIDED, MECHANICAL REINFORCEMENT SUFFICIENT TO...

45 THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECT OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECTS FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE SHALL BE REPLACED BY THE CONTRACTOR. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

CONSTRUCTION DOCUMENTS

1 AIA DOCUMENTS A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT, IS, UNLESS EXPLICITLY EXCLUDED BY THE OWNER, HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF...

2 ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY AND WHAT IS SPECIFIED BY ONE SHALL BE BINDING AS IF SPECIFIED BY ALL. ANY WORK SHOWN REFERRED TO ON A CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS...

3 DRAWINGS BEARING THE LATEST DATE AFTER AND INCLUDING THE CONTRACT DATE SHALL TAKE PRECEDENCE OVER PREVIOUS ONES.

4 OMISSIONS AND/OR CONFLICTS AMONG VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, EXISTING STRUCTURES, AND/OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE...

5 ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE TO FINISH FACE OR CENTER LINES (CL), COLUMN GRID LINES, AND FACE OF CONCRETE AND BLOCK WALLS UNLESS OTHERWISE NOTED OR SHOWN. DIMENSIONS NOTED AS 'F.O.F.', 'CLEAR', OR 'CLR' ARE TO FACE OF FINISH. DIMENSIONS NOTED AS ...

6 IN NO EVENT IS A DIMENSION TO BE SCALED OFF OF A DRAWING, PRINTED OR ELECTRONIC. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY THE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY VARIATIONS FROM...

7 LARGE SCALE DETAILS GOVERN OVER SMALL SCALE...

8 DETAILS ARE INTENDED TO SHOW FINAL EFFECT OF PARTS OF CONSTRUCTION. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT PARTICULAR JOB SITE DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED WITHIN THE SCOPE OF THE WORK AND CONSTRUCTION CONTRACT. ANY MODIFICATIONS REQUIRED IN DETAILS ARE TO BE FIRST REVIEWED IN THE FORM OF SHOP DRAWINGS AND CONFIRMED WITH THE ARCHITECT PRIOR TO START OF...

9 DETAILS MARKED AS "TYPICAL" OR "TYP" IN THESE DRAWINGS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS...

10 ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING,...

11 THE CONTRACTOR SHALL REFER TO THE ARCHITECT ON ALL MATTERS OF COLOR, TEXTURE, MATERIALS, DESIGN, AND INTERPRETATION OF THE PLAN.

12 INTENT / CONFLICTS: PRIOR TO BEGINNING THE WORK THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND PROMPTLY REPORT TO THE ARCHITECT ANY ERROR, DISCREPANCY OR OMISSIONS HE MAY DISCOVER, AND VERIFY THE INTENT OF THE DOCUMENTS WITH THE ARCHITECT, WHOSE DECISION SHALL BE FINAL AND CONCLUSIVE. IN NO CASE SHALL THE WORK PROCEED...

13 ANY WORK OR MATERIALS NOT DIRECTLY NOTED IN THE CONTRACT DOCUMENTS BUT ARE MANIFESTLY NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE INTENT THEREOF, ARE IMPLIED AND ARE TO BE PROVIDED FOR AS I...

DEMOLITION NOTES

1 THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT OF ANY CONDITIONS THAT MAY AFFECT DEMOLITION AS SHOWN ON THE DRAWING.

2 THESE DRAWINGS DO NOT SHOW IN MINUTE DETAIL ALL PORTIONS OF THE DEMOLITION WORK TO BE DONE. THE CONTRACTOR SHALL EXAMINE ALL OF THE EXISTING WORK SO AS TO DETERMINE THE FULL EXTENT OF THE DEMOLITION WORK REQUIRED TO MAKE THE COMPLETE WORK CONFOR...

3 THE CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION AS SHOWN ON THE DRAWINGS. REPORT ANY CONFLICTS TO THE ARCHITECT BEFORE...

4 THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF DEMOLITION WORK WITH NEW CONSTRUCTION.

5 DEMOLITION WORK PERFORMED THAT IS NOT REQUIRED FOR NEW CONSTRUCTION SHALL BE REPLACED AT NO EXTRA CHARGE TO THE OWNER.

6 ALL DEMOLITION SHALL BE DONE IN SUCH A MANNER THAT IT PROTECTS ADJOINING PROPERTY, ANY EXISTING PORTIONS OF BUILDING TO REMAIN, AND ANY VEGETATION STIPULATED TO REMAIN. ANY DAMAGE TO OTHER AREAS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXTRA CHARGE TO...

7 THE SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED BY THESE DRAWINGS BUT SHALL INCLUDE ANY AND ALL WORK NECESSARY TO FACILITATE NEW...

8 MAINTAIN AND PROTECT EXISTING UTILITY SERVICES TO REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PROVISION OF TEMPORARY...

9 NOTIFY UTILITY COMPANIES IF AND WHEN NECESSARY BEFORE PROCEEDING WITH WORK.

PUBLIC WORKS AND UTILITY NOTES

1 NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED.

2 SIDEWALK, DRIVEWAY, CURB, AND GUTTER REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. SEE APPLICABLE CITY STANDARD PLANS.

3 IF THE WATER METER BOX IS REPLACED, IT MUST BE PURCHASED FROM THE CITY, AND MUST HAVE A TRAFFIC LID IF THE BOX IS LOCATED IN THE DRIVEWAY.

4 EROSION AND SEDIMENT CONTROL DEVICES BMP (BEST MANAGEMENT PRACTICES) MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGES TO THE STREET AND ADJACENT PROPERTIES. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE...

5 CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS FROM PUBLIC WORKS PRIOR TO START OF ANY WORK IN THE PUBLIC RIGHT OF WAY.

6 CONTRACTOR SHALL CONSULT REPRESENTATIVES OF LOCAL UTILITIES, INCLUDING GAS, WATER, POWER, SEWER, TELEPHONE AND TV WHERE APPLICABLE, CONCERNING LOCATIONS AND AVAILABILITY OF UTILITIES PRIOR TO COMMENCING WORK OR CONNECTING UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXITING UTILITY LINES. LOCATIONS AND ELEVATIONS OF ALL EXISTING AND NEW MAINS AND METERS SHALL BE CONFIRMED ON THE RECORD DRAWINGS. LOCATIONS OF METERS ARE TO BE...

7 CONTRACTOR SHALL COORDINATE WITH UTILITY OWNERS AFFECTED BY THE IMPROVEMENTS BEFORE START OF...

8 CONTRACTOR SHALL ADJUST EXISTING VAULTS, VALVE BOXES, METER BOXES, PULL BOXES, ETC. TO CONFORM WITH FINISHED GRADES AS CONSTRUCTED, WHETHER...

9 CONTRACTOR SHALL NOTIFY UTILITY OWNERS 48 HOURS PRIOR TO REMOVAL OF ANY EXISTING PAVEMENT, IN ADDITION TO CONTRACTING UNDERGROUND SERVICE...

10 THE EXISTENCE, LOCATION, AND CHARACTERISTICS OF UTILITY INFORMATION SHOWN ON THESE PLANS HAS BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINE...

11 CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED AREA OF ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOES, TRANSFORMERS, VAULTS, PUMPS, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE...

12 THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES, WHETHER THE LINES ARE LOCATED ON THE PROPERTY OR NOT. NOTIFY THE ARCHITECT IMMEDIATELY IF POWER LINES ARE WITHIN TEN FEET OF THE PLANNED...

ROOF NOTES

1 PROVIDE POSITIVE DRAINAGE OF ALL ROOF AREAS WHETHER SHOWN OR NOT.

2 LOCATE ROOF DRAINS AT EACH LOW POINT OF THE ROOF AS DIMENSIONED THE PLANS, IF NOT DIMENSIONED, LOCATE OFF OF COLUMN/BEAM LINES, ALLOW CLEARANCE FOR HUB ASSEMBLY AND PIPE FITTINGS. COORDINATE LOCATION...

3 PROVIDE FLASHINGS AND ALL OTHER MATERIALS AND DETAILING REQUIRED BY ROOFING MANUFACTURER NECESSARY TO MAINTAIN A WATER TIGHT ASSEMBLY.

4 CONTRACTOR TO COORDINATE WITH ALL TRADES TO LOCATE ALL PENETRATIONS AND ROOF MOUNTED EQUIPMENT PRIOR TO THE START OF WORK.

5 ROOF TO BE A MINIMUM CLASS A, 20-YEAR BONDABLE, MEETING CODE AND SPECIFICATION REQUIREMENTS. CONFIRM SPECIFICATIONS WITH OWNER AND ARCHITECT.

6 CONTRACTOR SHALL EMPLOY A QUALIFIED INDEPENDENT INSPECTION SERVICE FOR INSPECTION OF THE ROOF INSTALLATION, INCLUDING ANY INSULATION AND FLASHING, AND SHALL CONFIRM ARRANGEMENTS WITH OWNER, ARCHITECT, MANUFACTURER'S REPRESENTATIVE AND ROOFING CONTRACTOR PRIOR TO CONSTRUCTION. INSPECTION SERVICE SHALL SUBMIT SPECIFICATIONS OF...

7 ALL BUILT UP OR SINGLE-PLY MEMBRANE ROOF AREAS SHALL HAVE MINIMUM 1/4 INCH PER FOOT PITCH TO DRAINS. EMERGENCY OVERFLOW SCUPPERS OR DRAINS SHALL BE INSTALLED WITH INLETS 2 INCHES ABOVE PRINCIPAL ROOF...

8 ROOF SADDLES AND CRICKETS SHALL HAVE A MINIMUM 1/2 INCH PER FOOT SLOPE.

9 PROVIDE PRESSURE TREATED WOOD FOR ALL WOOD BLOCKING, NAILERS, ETC. USED IN ROOF CONSTRUCTION.

10 UNLESS OTHERWISE NOTED, ALL ROOF AREA DRAINS SHALL BE LARGE LOW PROFILE GENERAL PURPOSE DRAINS WITH REMOVABLE PERFORATED DOMES TO PROTECT AGAINST CLOGGING, AND SHALL BE INSTALLED WITH THE RECOMMENDED FLASHING. USE SIDE OUTLET TYPE WHER...

11 ALL ROOF, PARAPET AND OTHER FLASHING SHALL BE INSTALLED SO THAT THEY ARE WATER-TIGHT. NOTIFY ARCHITECT OF ANY POINTS WHERE WATER OR MOISTURE MAY PENETRATE FOR ADDITIONAL WATER PROTECTIVE...

12 ALL SCUPPERS, GUTTERS, DOWNSPOUTS, LEADER BOXES, OVERFLOW OUTLET BOXES OR OTHER SHEET METAL WORK SHALL BE PROPERLY FLASHED AND SHALL HAVE WELDED OR SOLDERED WATERPROOF JOINTS. ALL BENDS, SEAMS, SPLICES OR OTHER CONNECTIONS SHALL BE STRAIGHT, SMOOTH AND CONTINUOUS WITHOUT DIMPLES OR DENTS. UNLESS SPECIFIED, SHEET METAL GAUGE SHALL BE...

13 PROVIDE GALVANIC OR BITUMINOUS INSULATION AS APPROVED BY ARCHITECT BETWEEN DISSIMILAR METALS.

MECHANICAL NOTES

1 CONTRACTOR SHALL COORDINATE ALL WORK RELATING TO THE COMPLETE FUNCTIONAL AND BALANCED INSTALLATION OF THE NEW MECHANICAL SYSTEM

1.1 VERIFY LOCATIONS OF ALL THERMOSTATS, CONTROLS, REGISTERS, GRILLES, DUCTS, AND CONDENSER WITH THE ARCHITECT PRIOR TO JOB LAYOUT.

1.2 PROVIDE OPENINGS AND SUPPORTS AS REQUIRED PER STANDARD DETAILS FOR HEATING, MECHANICAL EQUIPMENT, VENTS, DUCTS, PIPES, ETC. ALL SUSPENDED MECHANICAL...

1.3 ALL MATERIAL, EQUIPMENT, AND WORKMANSHIP SHALL BE GUARANTEED IN WRITING FOR ONE YEAR.

2 ALL FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING TO THE OUTSIDE SHALL BE PROVIDED WITH BACKDRAFT OR AUTOMATIC DAMPERS TO PREVENT AIR LEAKAGE.

3 CONTRACTOR TO THOROUGHLY CLEAN ALL PORTIONS OF THEIR WORK, REMOVE ALL DEBRIS, AND LEAVE THE INSTALLATION IN PERFECT CONDITION, READY FOR USE.

4 ALL DUCT INTERIORS BEHIND SUPPLY AND RETURN REGISTERS WHICH ARE VISIBLE SHALL BE SPRAYED MATTE BLACK PRIOR TO INSTALLING REGISTERS.

5 DWELLING IS PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING 68°F AT 3 FT ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS AT THE DESIGN TEMPERATURE IN...

PLUMBING NOTES

1 MATERIALS WHEN NOT OTHERWISE SPECIFIED SHALL CONFORM TO THE APPLICABLE ASTM, ASME, AGA AND ASA STANDARDS.

2 CONTRACTOR SHALL VERIFY THAT COPPER WATER SUPPLY LINES ARE ADEQUATE TO SUPPLY ACCEPTABLE PRESSURE AND VOLUME. CONTRACTOR SHALL CONNECT WASTE LINES TO SEWER AND PROVIDE CLEANOUTS AT CONNECTIONS OR TURNS AS REQUIRED AND REVIEW WITH THE ARCHITECT...

3 CONTRACTOR SHALL VERIFY BRANDS AND MODELS OF FIXTURES AND TRIM PRIOR TO ORDERING AND VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION OF...

4 CONTRACTOR SHALL VERIFY LOCATIONS OF WATER HEATER AND ALL REQUIRED VENTING WITH ARCHITECT PRIOR TO INSTALLATION.

5 ALL NEW PLUMBING FIXTURES SHALL BE CERTIFIED LOW FLOW FIXTURES

6 WATER CLOSETS TO BE INSTALLED A MINIMUM OF (CPC 402.5):

6.1 15" FROM CENTERLINE OF FIXTURE TO A WALL

6.2 15" FROM CENTER LINE OF FIXTURE TO CENTER LINE OF SIMILAR FIXTURE

6.3 WITH 24" CLEAR SPACE IN FRONT

7 WATER HEATER(S) SHALL BE STRAPPED AS PER CPC 508.2

8 CONTROL VALVES FOR ALL SHOWERS OR TUB-SHOWERS SHALL BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVE. (CPC 408.3)

9 UPON COMPLETION, THERE SHALL BE, FOR A DISTANCE OF NOT LESS THAN 5 FEET IN FRONT OF ANY WATER DISTRIBUTION FACILITY, A CLEAR AND UNOBSTRUCTED ZO...

10 PROVIDE AN EARTHQUAKE-ACTUATED GAS SHUTOFF VALVE ON THE GAS LINE DOWN STREAM FROM THE UTILITY METER, BEFORE THE PIPE SPLITS TO FEED OUTLETS, AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE. REVIEW THE FINAL LOCATION WITH ARCHITE...

ELECTRICAL NOTES

1 UNLESS NOTED OTHERWISE, ALL CONDUITS SHALL BE CONCEALED IN STRUCTURE, FLOOR SPACES, CEILING SPACES OR UNDERGROUND. ANY EXCEPTIONS ARE TO BE REVIEWED WITH AND CONFIRMED BY THE ARCHITECT PRIO...

2 CONTRACTOR SHALL VERIFY PANEL CAPACITY, BREAKERS, CIRCUITS, ETC. AS REQUIRED FOR ELECTRICAL LOADS, AND SHALL VERIFY LOCATION OF SERVICE WITH THE OWNER AND ARCHITECT. CONTRACTOR SHALL CONFIRM ALL ELECTRICAL LOADS AND REQUIREMENTS FOR APPLIANCES, HEATING AND AIR CONDITIONING SYSTEMS AND OTHER ELECTRICAL...

3 CONTRACTOR TO VERIFY CLEARANCES FOR ALL FLUSH MOUNTED AND RECESSED FIXTURES AND ADVISE ARCHITECT OF ANY CONFLICTS PRIOR TO ORDERING.

4 PROVIDE APPROVED, CERTIFIED SEISMIC ANCHORAGE FOR ALL ELECTRICAL EQUIPMENT PER THE APPLICABLE ELECTRICAL CODE.

5 CONFIRM FIXTURE TRIM SELECTION, DIFFUSER AND FINISH OPTIONS WITH ARCHITECT PRIOR TO ORDERING. ARCHITECT SELECTED OPTIONS SUBJECT TO OWNERS APPROVAL.

6 ALL WIRING SHALL BE COPPER, IN FLEXIBLE OR RIGID CONDUIT AS SPECIFIED BY CODE. NO "ROMEX OR OTHER NON-CONDUCTED WIRING PERMITTED.

7 ALL RECESSED FIXTURE TRIMS SHALL BE GASKETED AND TIGHT FITTING TO PREVENT LIGHT LEAKS.

8 CONFIRM MATERIAL AND COLOR OF ALL SWITCHES, OUTLETS AND COVER PLATES WITH ARCHITECT PRIOR TO ORDERING.

FRAMING AND FINISHES NOTES

1 CONTRACTOR SHALL SUBMIT ACTUAL MATERIAL SAMPLES FOR ARCHITECT'S REVIEW OF ALL FINISH MATERIALS, PAINT (COLOR AND SHEEN), AND STAINS (ON ACTUAL PROJECT...

2 FRAMING MEMBERS SHOULD BE STRAIGHT, TRUE AND OF UNIFORM DIMENSION. STUDS AND JOISTS MUST BE IN TRUE ALIGNMENT; BRIDGING, FIRE STOPS, PIPES, ETC., MUST NO...

3 ALL FRAMING LUMBER SHALL MEET THE APPLICABLE BUILDING CODE REQUIREMENTS FOR THE INTENDED USE AND LUMBER OF NOMINAL 2"X4" SIZE OR LARGER SHALL...

4 ALL FRAMING LUMBER SHALL HAVE A MOISTURE CONTENT NOT IN EXCESS OF 19% AT THE TIME OF APPLICATION OF GYPSUM BOARD OR OTHER FINISH MATERIAL.

5 CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, STIFFENERS, BRACING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETRY, AND ALL OTHER ITEMS AND FURNISHINGS, WHETHER SHOWN O...

6 WOOD SILLS AND OTHER WOOD MEMBERS IN CONTACT WITH CONCRETE NEXT TO THE EARTH AND/OR EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED, INCLUDING ANY WOOD MEMBER SEPARATED FROM THE WEATHER BY ONLY...

7 WALL SURFACES SHALL BE TRUE AND PLUMB WITH NO WOBBLE, WAVE OR IRREGULARITIES OVER THE COURSE OF THE WALL PLANE (+/-1/8" IN 10'-0", MAXIMUM +/-1/4" FOR THE...

8 UNLESS OTHERWISE NOTED, ALL GYPSUM BOARD MATERIALS AND INSTALLATION SHALL BE ACCORDING TO THE CURRENT U.S. GYPSUM HANDBOOK SPECIFICATIONS AND APPLICABLE CODE REQUIREMENTS. USE WATERPROOF GYPSUM BOARD OR SUBSTRATE IN ALL BATHROOMS,...

9 INSTALL ALL GYPSUM BOARD PRODUCTS USING SCREWS, NAILING IS NOT ACCEPTABLE.

10 ALL CORNER BEADS AND EDGE TRIM SHALL BE SET LEVEL OR PLUMB, STRAIGHT AND TRUE AND CHECKED PRIOR TO TAPING. GO OVER TAPING AS MANY TIMES AS NECESSARY TO OBTAIN AN EVEN FINISH. NO TAPE JOINTS OR SCREW LOCATIONS SHALL BE VISIBLE WHEN COMPLETELY DRY. ROLL ON PAIN PRIMER COAT (DO NOT BRUSH OR SPRAY), SAND LIGHTLY TO SMOOTH THE PRIMER FINISH. TOUCH UP GYPSUM BOARD AS REQUIRED AND SPOT PRIME TOUCH-UP...

11 STONE WORK SHALL BE IN ACCORDANCE WITH THE MASONRY INSTITUTE OF AMERICA AND BUILDING STONE INSTITUTE GUIDELINES.

12 ALL CERAMIC, LIMESTONE, GRANITE OR OTHER TILE WORK SHALL BE ACCORDING TO CURRENT STANDARDS AND SPECIFICATIONS OF THE TILE COUNCIL OF AMERICA AND CERAMIC TILE INSTITUTE. VERIFY ALL LAYOUTS, TRIM SHAPES, GROUT SELECTIONS AND WIDTH, AND OTHER...

13 USE FULL SHEETS OF GYPSUM BOARD WHEREVER POSSIBLE TO LIMIT JOINTS. WHERE JOINTS ARE UNAVOIDABLE, HOLD BOARDS APART 1/8" AND USE 2" FIBERGLASS TAPE TO...

14 CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING ALL FINISH MATERIALS WITH ENOUGH LEAD TIME, INCLUDING THE ARCHITECT'S REVIEW TIME, SO THAT ORDERED MATERIAL CAN BE CONFIRMED AS ACCEPTABLE, AND ANY UNACCEPTABLE MATERIAL REPLACED WITHOUT DELAYING...

15 CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS OF ALL CABINETS, COUNTERS, APPLIANCE ROUGH-INS AND OTHER BUILT-IN CABINETRY, INCLUDING ALL HARDWARE TO...

16 VERIFY ALL CLOSET, STORAGE AND GEAR ROOM LAYOUTS (POLS, SHELVES, CABINETRY, ETC.) WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION. INCLUDE ALL RELATED HARDWARE AND OTHER MISCELLANEOUS RELATED ITEMS REGARDLESS OF WHETHER THOSE ITEMS ARE OWNER OR...

17 CONTRACTOR SHALL REVIEW RAILINGS AND RAILING DETAILS WITH THE ARCHITECT PRIOR TO FINALIZING HER/HIS CONTRACT. RAILING SUBCONTRACTOR SHALL SUBMIT SAMPLES AND DETAILED SHOP DRAWINGS FOR ARCHITECT'...

18 ALL SURFACES EXPOSED TO VIEW IN FINAL CONSTRUCTION SHALL BE FINISHED IN A MANNER COMMENSURATE OF THE FINISHES OF THE PARTICULAR SPACE(S).

19 BEFORE THE START OF WORK, INSPECT ALL WORK TO BE PAINTED AND REPORT TO ARCHITECT ANY CONDITIONS WHICH WILL PREVENT A QUALITY FINISH FROM BEING ACCOMPLISHED. COMMENCING OF WORK BY THE CONTRACTOR INDICATES HER/HIS ACCEPTANCE OF THE...

20 ALL SPACES SHALL BE BROOM CLEAN PRIOR TO THE INSTALLATION OF ANY FINISHES AND ALL SURFACES TO BE PAINTED SHALL BE DRY AND CLEAN.

21 ALL WOODWORK SHALL BE CLEANED, SANDED, AND DUSTED BEFORE FINISHING. ALL WOODWORK SHALL BE SANDED, AT A MINIMUM, LIGHTLY BETWEEN COATS.

22 FINISH WOOD SHALL BE SELECTED BY THE OWNER OR ARCHITECT AND SHALL BE FREE OF KNOTS, PITCH , AND SAP AS MUCH AS POSSIBLE.

23 TOPS AND BOTTOMS OF ALL DOORS SHALL BE FULLY SEALED. TOPS OF DOORS VISIBLE FROM A WALKING SURFACE SHALL BE FINISHED TO MATCH THE FACE OF THE...

24 REMOVE ALL ELECTRIC PLATES, SURFACE HARDWARE, ETC. BEFORE PAINTING. PROTECT AND PREPLACE WHEN COMPLETED.

25 ALL FINISH MATERIALS SHALL ARRIVE AT THE JOB IN UNBROKEN CONTAINERS WITH MANUFACTURE'S LABEL CLEARLY VISIBLE.

26 UNLESS NOTED OTHERWISE, ALL PAINTS SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S MASTER SPECIFICATIONS AND RECOMMENDATIONS. APPLICATION...

27 PAINTING COATS AS SPECIFIED ARE INTENDED TO COVER SURFACES COMPLETELY; IF NOT, FURTHER COATS SHALL BE APPLIED.

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT CORR.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
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TOPANGA, CA 90290

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Date
SEPT. 25, 2020

Project No.
3045

Sheet Title
GENERAL NOTES

T002

DOORS AND WINDOWS

1 PRIOR TO INSTALLATION, ALL PAINTED WOOD DOORS AND WINDOW FRAMES SHALL BE PRIMED OR SEALED WITH PRIMER, INCLUDING FRAME BUCKS AND END GRAIN CUTS. STAINED WOOD FRAMES SHALL BE BACK-PRIMED SO AS NO...

2 WOOD FLUSH-TYPE DOORS SHALL BE 1 3/4" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE PIECE...

3 THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH...

4 ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM THE OUTSIDE ARE TO HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE A MINIMUM 1/4" DIAMETER STEEL JAMB...

5 PROVIDE DEADBOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY OPERATED LOCKS ON THE EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE...

6 STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8". A HOOK SHAPE OR EXPANDING LUG DEADBOLT SHALL HAVE A...

7 GLAZED OPENINGS WITHIN 40" OF THE LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITH THE USE OF A KEY, SHALL BE FULLY TEMPERED GLASS PER SECTION 2406, OR APPROVED BURGLARY RESISTANT MATERIAL. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO SLIDING GLASS DOORS WHICH CONFORM TO THE PROVISIONS OF SECTION 6710 OF THE LA COUNTY CODE (TITLE 26, CHAPTER 67) OR TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THE GREATEST...

8 OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES.

9 SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL FROM THE...

10 SLIDING GLASS DOOR PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SECTION 6706 OF THE LA COUNTY CODE (TITLE 26, CHAPTE...

11 SLIDING GLASS WINDOW SASHES SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SECTION 6707 OF THE LA COUNTY CODE (TITLE 26, CHAPTE...

12 SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES. A DEVICE SHALL BE INSTALLED IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE PANEL IN THE CLOSED OR PARTIALLY...

13 MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATO...

14 WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQUARE INCHES IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSION OF NOT LESS THAN ...

15 METAL OR WOOD OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK OR EQUIVALENT, APPROVED DEVICE UNLESS SECURED THROUGH...

16 A SINGLE SWINGING EXTERIOR DOOR OR ACTIVE LEAF OF A PAIR OF DOORS SHALL BE EQUIPPED WITH A DEADBOLT AND DEAD LOCKING LATCH, BOLT TO BE KEY OR ELECTRONICALLY OPERATED FROM THE EXTERIOR. LOCKS TO BE OPENABLE WITHOUT KEY FROM THE INTERIOR AND...

17 EXTERIOR DOORS, WINDOWS, AND THEIR HARDWARE SHALL CONFORM TO ALL APPLICABLE SECURITY PROVISIONS IN THE LATEST EDITION OF THE BUILDING CODE.

18 WEATHER SEAL ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SILL PLATES AND FLOORS AND ALL OPENINGS IN THE BUILDING ENVELOPE.

19 ALL OPENINGS (DOORS AND WINDOWS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED IN ACCORDANCE WITH APPROPRIATE INFILTRATION...

20 NEW DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW THE THRESHOLD.

21 THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN ...

22 ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE...

23 GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

23.1. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.

23.2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR...

23.3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

23.3.1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

23.3.2. BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.

23.3.3. TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.

23.3.4. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

23.4. GLAZING IN RAILINGS.

23.5. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS,

23.6. BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

23.7. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF TH...

23.8. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS...

23.9. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALL...

CALGREEN RESIDENTIAL NOTES

1 THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. (SECTION...

NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH WATER CLOSETS IS THE AVERAGE FLUSH VOLUME OF TWO (2) REDUCED FLUSHES AND ONE (1) FULL FLUSH.

2 SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GALLONS PER MINUTE (GPM) AT 80 PSI OF WATER PRESSURE. (SECTION 4.303.1.3.1)

3 THE FLOW RATE OF MULTIPLE SHOWERHEADS SERVING ONE SHOWER SHALL NOT EXCEED 2.0 GPM AT 80 PSI COMBINED FLOW RATE. (SECTION 4.303.1.3.2)

EXCEPTION: IF THE SHOWER IS DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.

4 RESIDENTIAL LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GPM AT 60 PSI AND A MINIMUM FLOW RATE OF 0.8 GPM AT 20 PSI. (SECTION 4.303.1.4.1)

5 KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.38 GPM AT 60 PSI. (SECTION 4.303.1.4)

NOTE: KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GPM AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLO...

6 INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS. (SECTION 4.304.1)

7 ALL ANNULAR SPACES AROUND OPENINGS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS. (SECTION 4.406.1)

8 AT A MINIMUM, RECYCLE AND/OR SALVAGE FOR REUSE, 50% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE. (SECTION 4.408.1)

9 CONTRACTOR TO SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR...

10 CONTRACTOR TO UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, TO PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH SECTION...

11 CONTRACTOR TO PROVIDE OWNER WITH AN OPERATION AND MAINTENANCE MANUAL, EITHER PRINTED OR ELECTRONIC, INCLUDING AT LEAST ALL ITEMS LISTED IN SECTION 4.410.1.

12 ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. (SECTION 4.503.1)

13 ALL OPENINGS IN DUCTS SHALL BE PROTECTED AT ALL TIMES PRIOR TO AND AFTER INSTALLATION TO PREVENT WATER, DUST, AND DEBRIS FROM ENTERING THE SHEET METAL DUCT UNTIL FINAL STARTUP OF THE...

14 ADHESIVES, SEALANTS, CAULKS, AND ASSOCIATED PRIMERS SHALL MEET THE REQUIREMENTS NOTED IN SECTION...

15 VOC LEVELS OF PAINTS AND COATINGS SHALL NOT EXCEED VALUES NOTED IN TABLE 4.504.3. (SECTION 4.504.2.2)

16 AEROSOL PAINTS AND COATINGS SHALL MEET THE REQUIREMENTS OF SECTION 4.504.2.3.

17 THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR...

18 CARPET SYSTEMS INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING (4.504.3.):

18.1 CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM

18.2 CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSION FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1,...

18.3 NSF/ANSI 140 AT THE GOLD LEVEL

18.4 SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD

19 80% OF ALL RESILIENT FLOORING INSTALLED IN THE BUILDING SHALL MEET ONE OR MORE OF THE FOLLOWING REQUIREMENTS (4.504.4):

19.1 VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS HIGH PERFORMANCE PRODUCTS DATABASE

19.2 PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM

19.3 CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM

19.4 MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1....

20 ALL COMPOSITE WOOD PRODUCTS USED IN THE BUILDING SHALL HAVE MAXIMUM FORMALDEHYDE EMISSIONS AS NOTED IN TABLE 4.504.5. (SECTION 4.504.5)

21 THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIEL...

22 AT ALL SLAB ON GRADE INSTALLATIONS, A CAPILLARY BREAK OF A 4 INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE WITH A VAPOR RETARDER IN DIRECT CONTACT WITH THE BOTTOM OF CONCRETE, OR AN APPROVED...

23 BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED IN THE FINAL CONSTRUCTION. (SECTION 4.505.3)

24 EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND COMPLY WITH THE FOLLOWING (SECTION 4.506.1):

24.1 ENERGY STAR COMPLIANT

24.2 DUCTED TO THE OUTSIDE OF THE BUILDING

24.3 HUMIDISTAT CONTROLLED, ADJUSTABLE BETWEEN 50% AND 80% RELATIVE HUMIDITY

NOTE: A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION.

LOW RISE RESIDENTIAL ENERGY NOTES

1 ALL APPLIANCES ARE TO MEET THE TITLE 20 APPLIANCE EFFICIENCY FOR APPLICABLE APPLIANCES. (SECTION 110.1)

2 SPACE CONDITIONING EQUIPMENT SHALL MEET EFFICIENCY OF TABLE 110.2-A THROUGH 110.2-K. (SECTION 110.2)

3 ALL UNITARY HEATING OR COOLING SYSTEMS, NOT CONTROLLED BY A CENTRAL ENERGY MANAGEMENT SYSTEM SHALL HAVE A SETBACK THERMOSTAT THAT COMPLY WITH...

3.1 ALL THERMOSTATS SHALL HAVE A CLOCK MECHANISM THAT ALLOWS THE BUILDING OCCUPANT TO PROGRAM THE TEMPERATURE SETPOINTS FOR AT LEAST FOUR PERIODS...

3.2 THERMOSTATS FOR HEAT PUMPS SHALL:

3.2.1 PREVENT SUPPLEMENTARY HEATER OPERATION WHEN THE HEATING LOAD CAN BE MET BY THE HEAT PUMP ALONE

3.2.2 HAVE A CUT-ON TEMPERATURE FOR COMPRESSION HEATING THAT IS HIGHER THAN THE CUT-ON TEMPERATURE FOR SUPPLEMENTARY HEATING, AND HAVE A CUT0OFF TEMPERATURE FOR COMPRESSION HEATING THAT IS HIGHER THAN THE CUT-OFF TEMPERATURE FOR SUPPLEMENTARY...

EXCEPTIONS: THE CONTROLS OF A HEAT PUMP MAY ALLOW SUPPLEMENTARY HEATER OPERATION DURING:

DEFROST

TRANSIENT PERIODS SUCH AS START-UPS AND FOLLOWING ROOM THERMOSTAT SETPOINT ADVANCE, IF THE CONTROLS PROVIDE PREFERENTIAL RATE CONTROL, INTELLIGENT RECOVERY, STAGING, RAMPING, OR ANOTHER CONTROL MECHANISM DESIGNED TO PRECLUDE THE...

EXCEPTION: ROOM AIR-CONDITIONER HEAT PUMPS

4 WATER HEATER CONTROLS SHALL BE AUTOMATIC CONTROLS, LIMITING WATER TEMPERATURE TO A MAXIMUM OF 110 DEGREES FAHRENHEIT PER TABLE 2, CHAPTER 49 O...

5 CIRCULATING PUMPS FOR HOT WATER SYSTEMS SHALL HAVE AUTOMATIC SHUT OFF CAPABILITY. (SECTION...

6 UNFIRED SERVICE WATER HEATER STORAGE TANKS AND BACKUP TANKS FOR SOLAR WATER-HEATING SYSTEMS SHALL BE INSULATED AS FOLLOWS (SECTION 110.3(c)4):

6.1 EXTERNAL INSULATION WITH AN INSTALLED R-VALUE OF AT LEAST R-12; OR

6.2 INTERNAL AND EXTERNAL INSULATION WITH A COMBINED R-VALUE OF AT LEAST R-16; OR

6.3 THE HEAT LOSS OF THE TANK SURFACE BASED ON AN 80 DEGREE F WATER-AIR TEMPERATURE DIFFERENCE SHALL BE LESS THAN 6.5 BTU PER HOUR PER SQUARE FOOT.

7 ANY POOL OR SPA HEATING SYSTEM OR EQUIPMENT SHALL (SECTION 110.4):

7.1 HAVE A THERMAL EFFICIENCY THAT COMPLIES WITH THE APPLIANCE EFFICIENCY REGULATIONS

7.2 HAVE A READILY ACCESSIBLE ON-OFF SWITCH, MOUNTED ON THE OUTSIDE OF THE HEATER THAT ALLOWS SHUTTING OFF THE HEATER WITHOUT ADJUSTING THE THERMOSTAT...

7.3 HAVE A PERMANENT, READABLE, WEATHERPROOF INSTRUCTION CARD, THAT GIVES INSTRUCTIONS FOR THE PROPER, ENERGY EFFICIENT OPERATION OF THE POOL OR...

7.4 NOT UTILIZE ELECTRIC RESISTANCE HEATING OR A PILOT LIGHT.

7.5 HAVE AT LEAST 36 INCHES OF PIPE BETWEEN THE FILTER AND HEATER TO ALLOW FOR THE FUTURE ADDITION OF SOLAR HEATING EQUIPMENT.

7.6 HAVE A THERMAL INSULATION COVER FOR OUTDOOR POOLS OR SPAS.

7.7 HAVE DIRECTIONAL INLETS FOR THE POOL OR SPA THAT ADEQUATELY MIX THE POOL WATER.

7.8 HAVE A TIME SWITCH FOR THE CIRCULATION PUMP THAT ALLOWS THE PUMP TO RUN IN THE OFF-PEAK ELECTRIC DEMAND PERIOD, AND FOR THE MINIMUM TIME NECESSARY TO MAINTAIN THE WATER IN THE CONDITION REQUIRED BY...

8 CONTINUOUSLY BURNING PILOT LIGHTS ARE PROHIBITED. (SECTION 110.5)

9 MANUFACTURED FENESTRATION PRODUCTS SHALL BE CERTIFIED FOR OVERALL U-VALUES, OVERALL SHGC, AND SHALL HAVE A TEMPORARY LABEL WHICH LISTS THE CERTIFIED U-VALUE AND SHGC, AND CERTIFIES THAT APPLICABLE AIR INFILTRATION REQUIREMENTS ARE MET....

10 FIELD-FABRICATED FENESTRATION AND EXTERIOR DOORS MUST HAVE COMPLIANCE DOCUMENTATION THAT DEMONSTRATES COMPLIANCE WITH U-FACTORS FROM TABLE 110.6-A AND SHGC VALUES FROM TABLE 110.6-B. FIELD-FABRICATED FENESTRATION AND FIELD-FABRICATED EXTERIOR DOORS SHALL BE SEALED AND...

11 ALL JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE EXTERIOR OF THE BUILDING SHALL BE SEALED. (SECTION 110.7)

12 ANY INSULATION SHALL BE CERTIFIED BY DEPARTMENT OF CONSUMER AFFAIRS, BUREAU OF HOME FURNISHINGS AND THERMAL INSULATION . (SECTION 110.8(a))

13 INSTALLATION OF UREA FORMALDEHYDE FOAM INSULATION IS NOT ALLOWED.

14 ALL INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF THE CBC. (SECTION 110.8(c))

15 HEATED SLABS SHALL BE INSULATED AS NOTED IN TABLE 110.8-A.

16 INSULATION FOR HEATED SLABS THAT ARE INSTALLED IN CONTACT WITH THE GROUND MUST (SECTION 110.8(g) 1.):

16.1 BE CERTIFIED FOR SUCH INSTALLATION CONDITIONS

16.2 HAVE A WATER ABSORPTION RATE OF NO GREATER THAN 0.3 PERCENT

16.3 HAVE A WATER VAPOR PERMEANCE NO GREATER THAN 2.0 PERM/INCH

17 INSULATION FOR HEATED SLABS MUST (SECTION 110.8(g)2.):

17.1 BE COVERED WITH A SOLID GUARD THAT PROTECTS AGAINST DAMAGE FROM ULTRAVIOLET RADIATION, MOISTURE, LANDSCAPING OPERATION, EQUIPMENT...

17.2 INCLUDE A RIGID PLATE, WHICH PENETRATES THE SLAB AND BLOCKS THE INSULATION FROM ACTING AS A CONDUIT FOR INSECTS FROM THE GROUND TO THE STRUCTURE...

18 PROVIDE A ZONE ON THE ROOF OR OVERHANG OF NOT LESS THAN 250 SQUARE FEET FREE AND CLEAR FOR THE FUTURE INSTALLATION OF SOLAR PANELS. (SECTION 110.10(B)1.A.)

19 THE OPAQUE PORTIONS OF ROOF ASSEMBLIES SHALL HAVE AN INSTALLED THERMAL RESISTANCE OF R-30 OR GREATER FOR THE VALUE OF THE INSULATION ALONE. (SECTION...

20 LOOSE-FILL INSULATION SHALL BE INSTALLED AT A MINIMUM WEIGHT PER SQUARE FOOT TO MEET THE SPECIFIED R-VALUE REQUIREMENT BASED ON THE MANUFACTURER'S...

21 THE OPAQUE PORTIONS OF THE EXTERIOR WALLS SHALL HAVE AN INSTALLED THERMAL RESISTANCE OF R-19 OR GREATER FOR THE VALUE OF THE INSULATION ALONE....

22 MASONRY AND FACTORY-BUILT FIREPLACE(S) SHALL HAVE THE FOLLOWING (SECTION 150.0(e)):

22.1 CLOSABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX

22.2 A COMBUSTION AIR INTAKE DRAWING AIR FROM THE EXTERIOR. INTAKE TO BE AT LEAST 6 SQUARE INCHES IN AREA AND EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT-FITTING DAMPER OR...

EXCEPTION: OUTSIDE COMBUSTION-AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER A CONCRETE SLAB AND IS NOT LOCATED ON AN EXTERIOR...

22.3 A FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL

EXCEPTION: GAS LOG, LOG LIGHTER, OR DECORATIVE GAS APPLIANCES INSTALLED IN A FIREPLACE SHALL HAVE THE FLUE DAMPER BLOCKED OPEN, IF REQUIRED BY EITHER THE CMC OR THE MANUFACTURER'S INSTALLATION...

22.4 A CONTINUOUS BURNING PILOT LIGHT IS PROHIBITED

22.5 THE USE OF INDOOR AIR FOR COOLING A FIREBOX JACKET, WHEN THAT INDOOR AIR IS VENTED TO THE OUTSIDE OF THE BUILDING IS PROHIBITED

23 OUTDOOR CONDENSING UNITS FOR SPACE-CONDITIONING EQUIPMENT SHALL BE INSTALLED WITH A CLEARANCE OF AT LEAST FIVE FEET FROM ANY DRYER VENT. (SECTION...

24 HOT WATER TANKS SHALL BE EXTERNALLY INSULATED WITH INSULATION HAVING AN INSTALLED THERMAL RESISTANCE OF 4-12 OR GREATER. (SECTION 150.0(j)1. A. AND B.)

EXCEPTION: UNFIRED HOT WATER TANKS MAY HAVE INTERNAL INSULATION OF AT LEAST R-16 AND A LABEL ON THE EXTERIOR OF THE TANK SHOWING THE INSULATION...

25 WATER PIPING, HOT AND COLD, SHALL BE INSULATED TO A THICKNESS AS NOTED IN TABLE 120.3-A AND AS FOLLOWS (SECTION 150.0(j)2):

25.1 THE FIRST 5 FEET OF WATER PIPES FROM ANY STORAGE TANK

25.2 ALL PIPING WITH A NOMINAL DIAMETER OF 3/4 INCH OR LARGER

25.3 ALL PIPING ASSOCIATED WITH A DOMESTIC HOT WATER RECIRCULATION SYSTEM REGARDLESS OF THE PIPE DIAMETER

25.4 PIPING FROM THE HEATING SOURCE TO STORAGE TANK OR BETWEEN TANKS

25.5 ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES

25.6 ALL DOMESTIC HOT WATER PIPES THAT ARE BURIED BELOW GRADE MUST, IN ADDITION TO BEING INSULATED AS NOTED ABOVE, BE INSTALLED IN A WATER PROOF AND NON CRUSHABLE CASING OR SLEEVE THAT ALLOWS FOR INSTALLATION, REMOVAL, AND REPLACEMENT OF THE...

25.7 METAL PIPING THAT PENETRATES METAL FRAMING SHALL USE GROMMETS, PLUGS, WRAPPING OR OTHER MATERIAL TO ASSURE PIPING DOES NOT CONTACT THE METAL FRAMING.

EXCEPTION: FACTORY INSTALLED PIPING WITHIN SPACE-CONDITIONING EQUIPMENT.

EXCEPTION: PIPING THAT SERVES PROCESS LOADS, GAS PIPING, COLD DOMESTIC WATER PIPING, CONDENSATE DRAWINGS, ROOF DRAINS, VENTS OR WASTE PIPING.

EXCEPTION: PIPING THAT PENETRATES FRAMING MEMBERS SHALL NOT BE REQUIRED TO HAVE INSULATION FOR THE DISTANCE OF THE PENETRATION OF THE FRAMING MEMBER, NOT APPLICABLE TO METAL PIPING THROUGH METAL FRAMING. INSULATION SHALL BUTT SECURELY...

EXCEPTION: PIPING INSTALLED IN INTERIOR OR EXTERIOR WALLS THAT ARE INSULATED AND MEET COMPLIANCE WITH QUALITY INSULATION INSTALLATION AS SPECIFIED IN...

EXCEPTION: PIPING INSTALLED IN ATTICS WITH A MINIMUM OF 4 INCHES OF ATTIC INSULATION ON TOP OF THE PIPING.

26 INSTALLED LUMINAIRES SHALL BE CLASSIFIED AS HIGH-EFFICACY OR BE A PART OF A HYBRID LIGHTING SYSTEM AND COMPLY WITH SECTION 150.0(k).

27 BALLASTS FOR FLUORESCENT LAMPS RATED 13 WATTS OR GREATER SHALL BE ELECTRONIC AND SHALL HAVE AN OUTPUT FREQUENCY NO LESS THAN 20 KHZ (SECTION...

28 HIGH EFFICACY LUMINAIRES SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY LUMINAIRES (SECTION 150.0(k)2.A.).

29 LIGHTING MAY BE INTEGRAL TO AN EXHAUST FAN AND ON THE SAME SWITCH PROVIDED THE LIGHTING CAN BE SWITCHED OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME (SECTION...

30 LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMITS THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF (SECTION 150.0(k)2.C.).

31 NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR VACANCY SENSOR IS REQUIRED (SECTION 150.0(k)2.E.).

32 AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH DIMMER AND/OR VACANCY SENSOR REQUIREMENTS IF THE EMCS IT PROVIDES THE FUNCTION OF EITHER A DIMMER OR A VACANCY SENSOR AND COMPLIES WITH ALL OF THE REQUIREMENTS NOTED IN...

33 A MULTISCENE PROGRAMMABLE CONTROLLER MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IF IT PROVIDES THE FUNCTIONALITY OF A DIMMER IN ACCORDANCE WITH...

34 LIGHTING IN KITCHENS SHALL HAVE A MINIMUM OF 50 PERCENT OF THE TOTAL RATED WATTAGE OF PERMANENTLY INSTALLED LIGHTING BE HIGH EFFICACY (SECTION 150.0(k)3.).

34.1 FOR THE PURPOSE OF COMPLIANCE WITH SECTION 150.0(k), ALL PERMANENTLY INSTALLED LIGHTING IN THE KITCHEN AND SURROUNDING AREAS (DINING AND NOOK AREAS) THAT ARE NOT SEPARATELY SWITCHED FROM THE KITCHEN...

EXCEPTION: LIGHTING INTEGRAL TO CABINETS FOR THE PURPOSE OF ILLUMINATING ONLY THE INSIDE OF THE CABINETS.

35 PERMANENTLY INSTALLED LIGHTING THAT IS INTERNAL TO CABINETS SHALL USE NO MORE THAN 20 WATTS OF POWER PER LINEAR FOOT OF ILLUMINATED CABINET. THE LENGTH OF AN ILLUMINATED CABINET SHALL BE DETERMINED REGARDLESS OF THE NUMBER OF SHELVES OR THE NUMBER OF DOORS BY ONE OF THE FOLLOWING METHODS...

35.1 ONE HORIZONTAL LENGTH OF ILLUMINATED CABINET, OR

35.2 ONE VERTICAL LENGTH, PER ILLUMINATED CABINET SECTION, OR

35.3 NO MORE THAN ONE VERTICAL LENGTH PER EVERY 40 HORIZONTAL INCHES OF ILLUMINATED CABINET.

36 LIGHTING IN BATHROOMS SHALL HAVE A MINIMUM OF ONE HIGH EFFICACY LUMINAIRE IN EACH BATHROOM AND ALL OTHER LIGHTING INSTALLED IN EACH BATHROOM SHALL BE EITHER HIGH EFFICACY OR CONTROLLED BY VACANCY...

37 LIGHTING INSTALLED IN ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES AND CONTROLLED BY VACANC...

38 LIGHTING IN SPACES OTHER THAN EXPLICITLY NOTED BELOW SHALL BE HIGH EFFICACY OR CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS (SECTION...

EXCEPTIONS: KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS, CLOSETS LESS THAN 70 SQUARE FEET, AND DETACHED STORAGE BUILDINGS LESS...

39 LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS (SECTION 150.0(k)8.):

39.1 BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT

39.2 HAVE A LABEL THAT CERTIFIES THAT THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS.

EXCEPTION: AN EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT

39.3 BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED...

39.4 COMPACT FLUORESCENT LUMINAIRES WITH BALLASTS, THE BALLASTS SHALL BE CERTIFIED TO COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTION 110.9

39.5 ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF...

40 LUMINAIRES PROVIDING RESIDENTIAL OUTDOOR LIGHTING SHALL BE HIGH EFFICACY OR MEET ALL OF THE FOLLOWING REQUIREMENTS (SECTION 150.0(k)9.):

40.1 CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF THE ITEMS BELOW

40.2 CONTROLLED BY A MOTION SENSOR NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE MOTION SENSOR, OR CONTROLLED BY A MOTION SENSOR HAVING A TEMPORARY OVERRIDE SWITCH WHICH TEMPORARILY BYPASSES THE MOTION SENSING FUNCTION AND AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHI...

40.3 CONTROLLED BY ONE OF THE FOLLOWING METHODS:

40.3.1 PHOTOCONTROL NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE PHOTOCONTROL

40.3.2 ASTRONOMICAL TIME CLOCK NOT HAVING AN OVERRIDE OR BYPASS SWITCH THAT DISABLES THE ASTRONOMICAL TIME CLOCK, AND WHICH IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURIN...

40.... EMCS WITH MEETS THE FOLLOWING REQUIREMENTS:

40.3.4 AT A MINIMUM, PROVIDES THE FUNCTIONALITY OF AN ASTRONOMICAL TIME CLOCK

40.3.5 MEETS THE INSTALLATION CERTIFICATION REQUIREMENTS IN SECTION 130.4

40.3.6 MEETS THE REQUIREMENTS FOR AN EMCS IN SECTION 130.5

40.3.7 DOES NOT HAVE AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON

40.3.8 IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS

41 INTERNALLY ILLUMINATED ADDRESS SIGNS SHALL CONSUME NO MORE THAN 5 WATTS OF POWER AND COMPLY WITH THE REQUIREMENTS OF SECTION 140.8 (SECTION 150.0(k)10.).

42 LIGHTING FOR RESIDENTIAL PARKING GARAGES FOR EIGHT OR MORE VEHICLES SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS FOR NONRESIDENTIAL GARAGES (SECTION...

43 SLAB EDGE INSULATION MATERIAL SHALL MEET THE FOLLOWING MINIMAL SPECIFICATIONS (SECTION 150.0(l)):

43.1 WATER ABSORPTION RATE OF NO GREATER THAN 0.3 PERCENT

43.2 WATER VAPOR PERMEANCE NO GREATER THAN 2.0 PERM/INCH

43.3 INSULATION SHALL BE PROTECTED FROM PHYSICAL DAMAGE AND ULTRAVIOLET LIGHT DETERIORATION

44 DUCTS, OR PORTIONS THEREOF, AS A PART OF SPACE-CONDITIONING SYSTEM(S) NOT ENTIRELY ENCLOSED IN CONDITIONED SPACE SHALL BE INSULATED TO A MINIMUM INSTALLED THERMAL RESISTANCE OF R-6 OR GREATER....

45 ALL DUCTS SHALL BE SEALED AND FIELD TESTED TO MEET THE REQUIREMENTS OF SECTION 150.0(m)11.

46 THE FILTER MEDIA FOR ALL FORCED AIR SPACE-CONDITIONING SYSTEMS SHALL BE A MINIMUM OF MERV 12. (IN EXCESS OF SECTION 150.0(m)12.C.)

47 GAS OR PROPANE WATER HEATER(S) SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 150.0(n).

48 VENTILATION OF THE BUILDING SHALL MEET THE REQUIREMENTS OF ASHRAE STANDARD 62.2. (SECTION 150.0(o))

49 THE BUILDING SHALL MEET OR EXCEED THE VALUES FOR EACH COMPONENT AS NOTED BY CLIMATE ZONE IN TABLE 150.1-A.

EXCEPTION: IF COMPLIANCE IS DEMONSTRATED WITH THE PERFORMANCE STANDARDS AS NOTED IN SECTION 150.1(b).

50 CENTRAL FORCED AIR SYSTEM FANS USED IN CENTRAL FAN INTEGRATED VENTILATION SYSTEMS SHALL DEMONSTRATE, IN AIR DISTRIBUTION MODE, AN AIR-HANDLING UNIT FAN EFFICACY LESS THAN OR EQUAL TO 0.58 W/CFM. VERIFY IN...

51 SINGLE FAMILY HOMES SHALL COMPLY WITH THE WHOLE HOUSE FAN(WHF) REQUIREMENTS OF TABLE 150.1-A. WHEN REQUIRED, A WHF MUST:

51.1 HAVE INSTALLED ONE OR MORE WHF'S WHOSE TOTAL AIR FLOW CFM AS LISTED IN THE CEC DIRECTORY IS AT LEAST 2 CFM/FT2 OF CONDITIONED FLOOR AREA.

51.2 HAVE AT LEAST 1 SQUARE FOOT OF ATTIC VENT FREE AREA FOR EACH 375 CFM OF RATED WHOLE HOSE FAN AIR FLOW CFM.

51.3 PROVIDE HOMEOWNERS WHO HAVE WHF'S WITH A ONE PAGE "HOW TO OPERATE YOUR WHOLE HOUSE FAN" INFORMATIONAL SHEET.

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT CORR.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
3045 TUNA CANYON ROAD,
TOPANGA, CA 90290

OWNER:
LEIGH HERZIG AND SETH GOLD
3045 TUNA CANYON ROAD
917.690.2061

CONSULTANTS

Structural
KURT FISCHER STRUCTURAL ENGINEERING
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Architectural
ANINA BACH DESIGN
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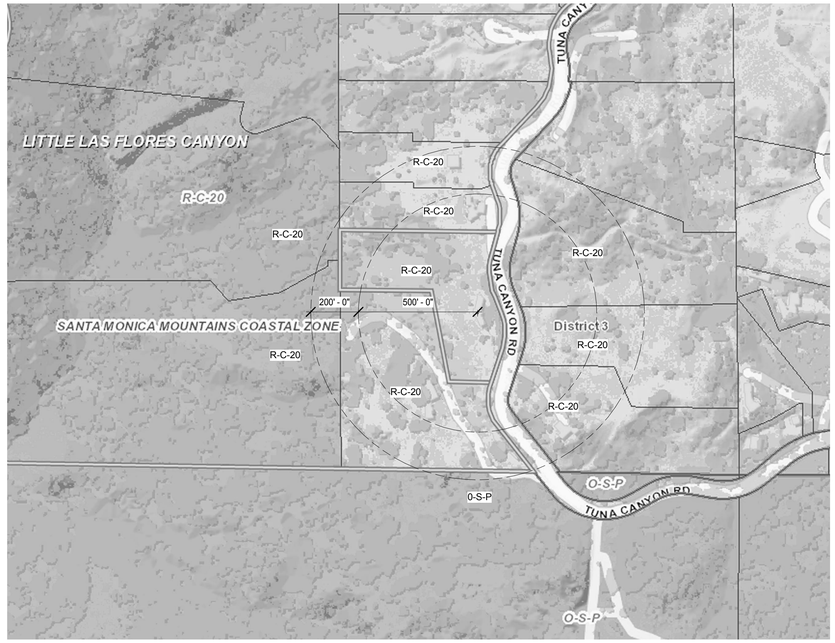
TUCHSCHER ENGINEEING GROUP
5318 E. 2ND ST. #539, LONG BEACH CA 90803
Civil t: 310.613.9980 f: 562.856.1910

Date
SEPT. 25, 2020

Project No.
3045

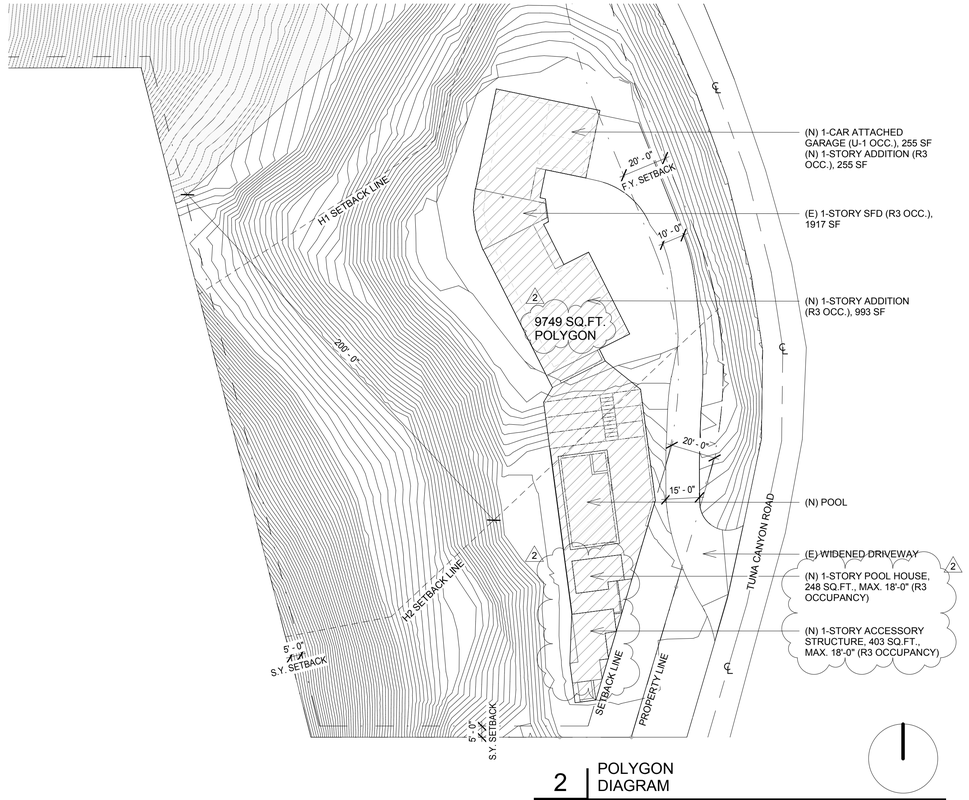
Sheet Title
GENERAL NOTES

T003



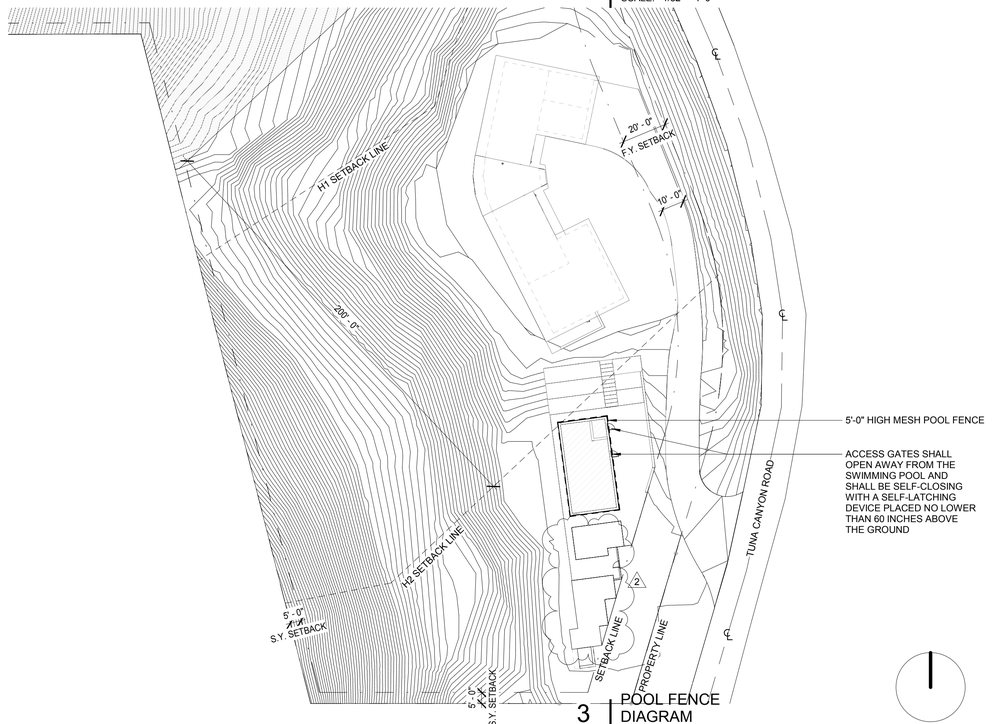
1 | LAND USE MAP

SCALE: 1" = 300'-0"



2 | POLYGON DIAGRAM

SCALE: 1/32" = 1'-0"



3 | POOL FENCE DIAGRAM

SCALE: 1/32" = 1'-0"

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT CORR.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
3045 TUNA CANYON ROAD,
TOPANGA, CA 90290

OWNER:
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Date: SEPT. 25, 2020

Project No.: 3045

Sheet Title: DIAGRAMS

T004

BUILDING TRUST

PRODUCT DATA SHEET

Sarnafil® G 410-60 EnergySmart

SARNAFIL G 410 ROOF MEMBRANE IS A PVC THERMOPLASTIC MEMBRANE

PRODUCT DESCRIPTION

Sarnafil® G 410-60 EnergySmart Roof Membrane is a PVC thermoplastic membrane produced with an integral fiberglass mat reinforcement for excellent dimensional stability, is highly reflective, guaranteed for thickness, with heat-weldable seams, and a unique lacquer coating applied to the top of the membrane to reduce dirt pick up.

USES

Sarnafil G 410 is used in adhered applications with various adhesives over various substrates.

Areas of Application
- New Roofs
- Reroofs
- Recovers
- Flashings

CHARACTERISTICS / ADVANTAGES

EnergySmart Roof™

- Highly reflective
- Excellent dimensional stability
- Factory applied lacquer coated to reduce dirt pick up
- Hot-air welded seams for long-term performance
- Proven membrane performance
- Guaranteed thickness
- Superior fire resistance

APPROVALS / STANDARDS

- FM Global
- Underwriters Laboratories
- Underwriters Laboratories of Canada
- ICC Code Compliance – ESR 1157
- Miami-Dade County
- Florida Building Code
- NSF/ANSI 347: Platinum Certified
- ENERGY STAR®
- California Title 24
- LEED / Green Globes

PRODUCT INFORMATION

Chemical Base	High-quality, PVC membrane containing ultraviolet light stabilizers, flame retardant and fiberglass reinforcement with a unique lacquer coating on the top surface.
Recycled Content	9 % Pre-consumer, 1 % Post-consumer
Reinforcing Material	Fiberglass
Packaging	**60 mil (1.5 mm) Membrane (White, Reflective Gray, and Tan)** 10 ft x 100 ft (3 m x 30 m) roll, 389 lbs (177 kg) per roll 8 rolls per pallet 5 ft x 100 ft (1.5 m x 30 m) roll, 195 lbs (89 kg) per roll 12 rolls per pallet Coverstrip: 8" x 100 ft (20 cm x 30 m) roll, 25 lbs (12 kg) per roll 25 rolls per pallet **60 mil (1.5 mm) Membrane (Patina Green)** Bareback: 6.56 ft x 65.6 ft (2 m x 20 m) roll, 168 lbs (76 kg) per roll 19 rolls per pallet Coverstrip: 8" x 100 ft (20 cm x 30 m) roll, 25 lbs (12 kg) per roll 25 rolls per pallet
Appearance / Color	• Top: White, Reflective Gray, Tan, and Patina Green • Bottom: Gray
Shelf Life	N/A
Storage Conditions	Store rolls on pallets and fully protected from the weather with clean canvas tarpaulins. Unvented polyethylene tarpaulins are not accepted due to the accumulation of moisture beneath the tarpaulin in certain weather conditions that may affect the ease of membrane weldability.
Overall Thickness	60 mil (ASTM D-751) 45 mil (ASTM Type II D-4434 Spec. Requirement)
Thickness Above Scrim	27 mil (-) 16 mil (ASTM Type II D-4434 Spec. Requirement)

TECHNICAL INFORMATION

Resistance to Static Puncture	Pass (ASTM D-5602) 33 lbf (15 kg) (ASTM Type II D-4434 Spec. Requirement)
Resistance to Dynamic Puncture	Pass (ASTM D-5635) 7.3 ft-lbf (10 J) (ASTM Type II D-4434 Spec. Requirement)
Tensile Strength	80 lbf (356 N) (ASTM D-751) 55 lbf (245 N) (ASTM Type II D-4434 Spec. Requirement)
Elongation at Break	250 & 220 % MD & CMD[1] (ASTM D-751) 250 & 220 % MD & CMD[1] (ASTM Type II D-4434 Spec. Requirement) [1] MD = Machine Direction, CMD = Cross Machine Direction.
Linear Dimensional Change	-0.02 % (ASTM D-1204) 0.1 % (ASTM Type II D-4434 Spec. Requirement)
Tear Strength	17.5 lbf (78 N) (ASTM D-1004) 10 lbf (45 N) (ASTM Type II D-4434 Spec. Requirement)

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Seam Strength	Pass (ASTM D-751) 75 % of original[2] (ASTM Type II D-4434 Spec. Requirement) [2] Failure occurs through membrane rupture not seam failure.
Low Temperature Bend	Pass (ASTM D-2136) Pass -40°F (-40°C) (ASTM Type II D-4434 Spec. Requirement)
Retention of Properties after Heat Ageing	Tensile Strength, % of original: Pass (ASTM D-3045) Elongation, % of original: Pass (ASTM D-751) Tensile Strength, % of original: 90 (ASTM Type II D-4434 Spec. Requirement) Elongation, % of original: 90
UV Exposure	10,000 hours (ASTM G-154) 5,000 hours (ASTM Type II D-4434 Spec. Requirement) Cracking None (7x magnification) Discoloration Negligible (by observation) Crazing None (7x magnification)
Weight Change after Immersion in Water	1.9 % (ASTM D-570) ± 3.0 % (ASTM Type II D-4434 Spec. Requirement)

Solar Reflectance

EnergySmart Colors	Initial Solar Reflectance[1]	3-Year Solar Reflectance[1]
EnergySmart White[2]	0.85	0.74
EnergySmart Tan[2]	0.73	0.65
EnergySmart Reflective Gray[2]	0.73	0.66
EnergySmart Patina Green[3]	0.55	0.46

[1] Solar Reflectance testing according to ASTM C1549.
[2] Meets ENERGY STAR®, LEED, Green Globes, and California's Title 24 criteria for Low and Steep Slope applications.
[3] Meets ENERGY STAR®, LEED, Green Globes, and California's Title 24 criteria for Steep Slope applications.

Thermal Emittance

EnergySmart Colors	Initial Thermal Emittance[1]	3-Year Thermal Emittance[1]
EnergySmart White[2]	0.86	0.84
EnergySmart Tan[2]	0.85	0.86
EnergySmart Reflective Gray[2]	0.89	0.88
EnergySmart Patina Green[3]	0.86	0.85

[1] Thermal Emittance testing according to ASTM C1371, Slide Method.
[2] Meets ENERGY STAR®, LEED, Green Globes, and California's Title 24 criteria for Low and Steep Slope applications.
[3] Meets ENERGY STAR®, LEED, Green Globes, and California's Title 24 criteria for Steep Slope applications.

BUILDING TRUST

Solar Reflectance Index

EnergySmart Colors	Initial Solar Reflectance Index	3-Year Solar Reflectance Index
EnergySmart White[1]	107	90
EnergySmart Tan[2]	89	78
EnergySmart Reflective Gray[1]	90	80
EnergySmart Patina Green[2]	64	51

[1] Meets ENERGY STAR®, LEED, Green Globes, and California's Title 24 criteria for Low and Steep Slope applications.
[2] Meets ENERGY STAR®, LEED, Green Globes, and California's Title 24 criteria for Steep Slope applications.

APPLICATION INSTRUCTIONS

APPLICATION

Sarnafil G 410 is installed after proper preparation of the approved substrate. The membrane is unrolled into Sarnacol adhesive in accordance with Sika's technical requirements and then pressed into place with a minimum 100 lb (45 kg) steel roller. Sarnafil G 410 seams are heat-welded together by trained operators using hot-air welding equipment. Different Sarnacol adhesives require different application methods. Please consult Sika's Specifications or Applicator Handbook for detailed installation procedures.

MAINTENANCE

Standard maintenance of Sarnafil systems should include inspections of flashings, drains, and termination sealants at least twice a year and after each storm.

AVAILABILITY/WARRANTY

Availability
From Sika Corporation – Roofing Authorized Applicators for use within Sarnafil or Sikaplan systems.

Warranty
Upon successful completion of the installed roof by the Sika Authorized Applicator, Sika Corporation will provide a warranty to the Building Owner via the Sika Authorized Applicator.

BASIS OF PRODUCT DATA

Results may differ based upon statistical variations depending upon mixing methods and equipment, temperature, application methods, test methods, actual site conditions and curing conditions.

OTHER RESTRICTIONS

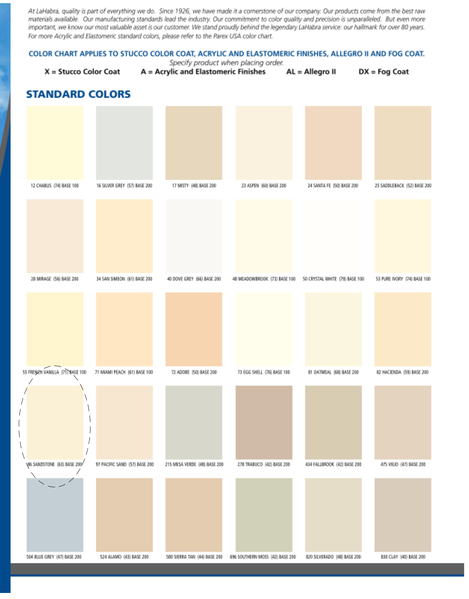
See Legal Disclaimer.

ENVIRONMENTAL, HEALTH AND SAFETY

For further information and advice regarding transportation, handling, storage and disposal of chemical products, user should refer to the actual Safety Data Sheets containing physical, environmental, toxicological and other safety related data. User must read the current actual Safety Data Sheets before using any products. In case of an emergency, call CHEMTREC at 1-800-424-9300, International 703-527-3887.

BUILDING TRUST

ROOF MEMBRANE SPEC SHEET



EXTERIOR WALL SPEC SHEET

5/13/2020 BRAZILIAN GOLD QUARTZ FLAGSTONE - Bourget Bros

(https://www.bourgetbros.com/wp-content/uploads/2020/01/Yellow-quartzite.jpg)

BRAZILIAN GOLD QUARTZ FLAGSTONE

Brazilian Gold Quartz Flagstone

Random, 1" minus sizing

Share on:

RELATED PRODUCTS

HARDSCAPE SPEC SHEET

5/13/2020 Decomposed Granite (DG) w/ Stabilizer - Bourget Bros

(https://www.bourgetbros.com/wp-content/uploads/2016/10/15082008-1239081_Decomposed-Granite-with-Stabiliz

DECOMPOSED GRANITE (DG) W/ STABILIZER

Decomposed Granite with stabilizer is perfect for drought tolerant and xeriscape landscapes. Stabilized DG is a popular aggregate for driveways. This attractive, sandy yellow color aggregate is a natural decomposition of granite rock into gravel form. It has a binder that resists the erosive effects of weather and traffic. Decomposed granite is safe for the environment (non toxic permeable binder) and can be used throughout your landscape.

Bourget Bros. Building Materials hosts a complete, full service gravel and aggregate yard. Our Stabilized DG is sold by the bag, skip or truck load.

Share on:

RELATED PRODUCTS

DRIVEWAY SPEC SHEET

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT COMM.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
3045 TUNA CANYON ROAD,
TOPANGA, CA 90290

OWNER:
LEIGH HERZIG AND SETH GOLD
3045 TUNA CANYON ROAD
917.690.2061

CONSULTANTS

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KURT FISCHER STRUCTURAL ENGINEERING
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ANINA BACH DESIGN
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Architectural t: 310.382.7358 f:

Civil
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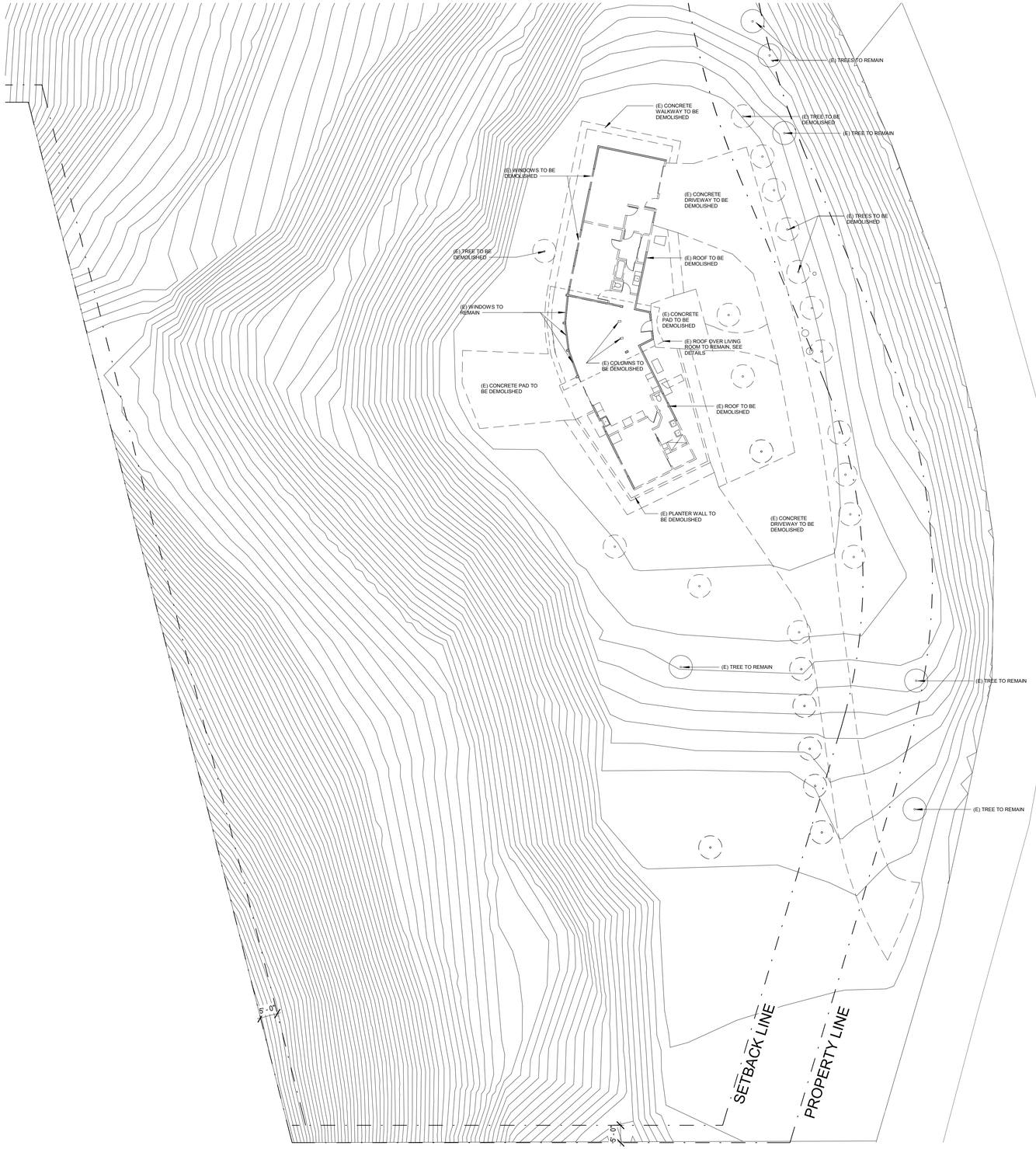
5318 E. 2ND ST. #539, LONG BEACH CA 90803
Civil t: 310.613.9080 f: 562.856.1910

Date: SEPT. 25, 2020
Project No.: 3045

Sheet Title
SPEC SHEETS

T005



10 DEMO PLAN

SCALE: 1/16" = 1'-0"

EXISTING BUILDING TO REMAIN

EXISTING BUILDING TO REMAIN (INCLUDING THE BUILDING FOUNDATIONS AND PORTIONS OF THE WALLS AND CEILING/FLOOR JOISTS SUPPORTED BY THAT PORTION OF THE FOUNDATIONS)

PERCENTAGE OF EXTERIOR WALL OF EXISITNG 1-STORY SFD TO REMAIN
TOTAL PERIMETER LENGTH OF EXISITNG 1-STORY SFD,
20'-2" (NORTH) +101'-4" (EAST) + 20'-1" (SOUTH)
+ 102'-8 1/4" (WEST)
= 244'-3 1/4"
EXISTING EXTERIOR WALL TO REMAIN = 20'-2" (NORTH)
+ 72'-3"(EAST) + 93'-8 1/4" (WEST)
= 186'-1 1/4"
PERCENTAGE OF EXTERIOR WALLS TO REMAIN =76.2%

EXISTING BUILDING/ LANDSCAPING TO BE DEMOLISHED

DEMOLITION NOTES
1.THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT OF ANY CONDITIONS THAT MAY AFFECT DEMOLITION AS SHOWN ON THE DRAWING.
2.THESE DRAWINGS DO NOT SHOW IN MINUTE DETAIL ALL PORTIONS OF THE DEMOLITION WORK TO BE DONE. THE CONTRACTOR SHALL EXAMINE ALL OF THE EXISTING WORK SO AS TO DETERMINE THE FULL EXTENT OF THE DEMOLITION WORK REQUIRED TO MAKE THE COMPLETE WORK CONFORM TO THE CONSTRUCTION DOCUMENTS.
3.THE CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION AS SHOWN ON THE DRAWINGS. REPORT ANY CONFLICTS TO THE ARCHITECT BEFORE DEMOLITION WORK BEGINS.
4.THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF DEMOLITION WORK WITH NEW CONSTRUCTION.
5.DEMOLITION WORK PERFORMED THAT IS NOT REQUIRED FOR NEW CONSTRUCTION SHALL BE REPLACED AT NO ADDED COST TO THE OWNER.
6.ALL DEMOLITION SHALL BE DONE IN SUCH A MANNER THAT IT PROTECTS ADJOINING PROPERTY, ANY EXISTING PORTIONS OF BUILDING TO REMAIN, AND ANY VEGETATION STIPULATED TO REMAIN. ANY DAMAGE TO OTHER AREAS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXTRA CHARGE TO THE OWNER.
7.THE SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED BY THESE DRAWINGS BUT SHALL INCLUDE ANY AND ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION.
8.MAINTAIN AND PROTECT EXISTING UTILITY SERVICES TO REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PROVISION OF TEMPORARY SERVICES AND RESTORATION OF SERVICES.
9.NOTIFY UTILITY COMPANIES IF AND WHEN NECESSARY BEFORE PROCEEDING WITH WORK.
10. CONSTRUCTION WASTE SHALL BE REDUCED BY 50% BY A CITY OF LOS ANGELES CERTIFIED HAULER.

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT CORR.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
3045 TUNA CANYON ROAD,
TOPANGA, CA 90290

OWNER:
LEIGH HERZIG AND SETH GOLD
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Date
SEPT. 25, 2020

Project No.
3045

Sheet Title
DEMOLITION PLAN

AD001

10 SITE PLAN

SCALE: 1/16" = 1'-0"

Note: All Property Fencing to follow Title 22:

"Wildlife-permeable fencing" means fencing that can be easily bypassed by all species of wildlife found in the Santa Monica Mountains, including but not limited to deer, coyotes, bobcats, mountain lions, ground rodents, amphibians, reptiles and birds, and shall be subject to the following standards:

a. Fences shall be split-rail or flat-board with no more than three horizontal rails or boards.
b. The bottom edge of the bottom rail or board shall be no lower than 18 inches from the ground.
c. There shall be a minimum two-foot gap between each rail or board.
d. Except where a different height is stated, the top edge of the topmost rail or board shall be no higher than 48 inches from the ground.
e. Fence material shall be of wood or an alternative material that gives the appearance of wood, such as wood composite or recycled material or some other similar material that gives the appearance of wood.
f. Fence posts shall not be hollow at the top or have holes drilled into them near the top.
g. Fences shall not be barbed.
h. The top of the fence shall not contain spikes of any manner.

FOR PERMIT

No.	Issue Name	Date
2.	ZONING PERMIT CORR.	Date 2
1.	ZONING PERMIT ISSUE	06.10.20

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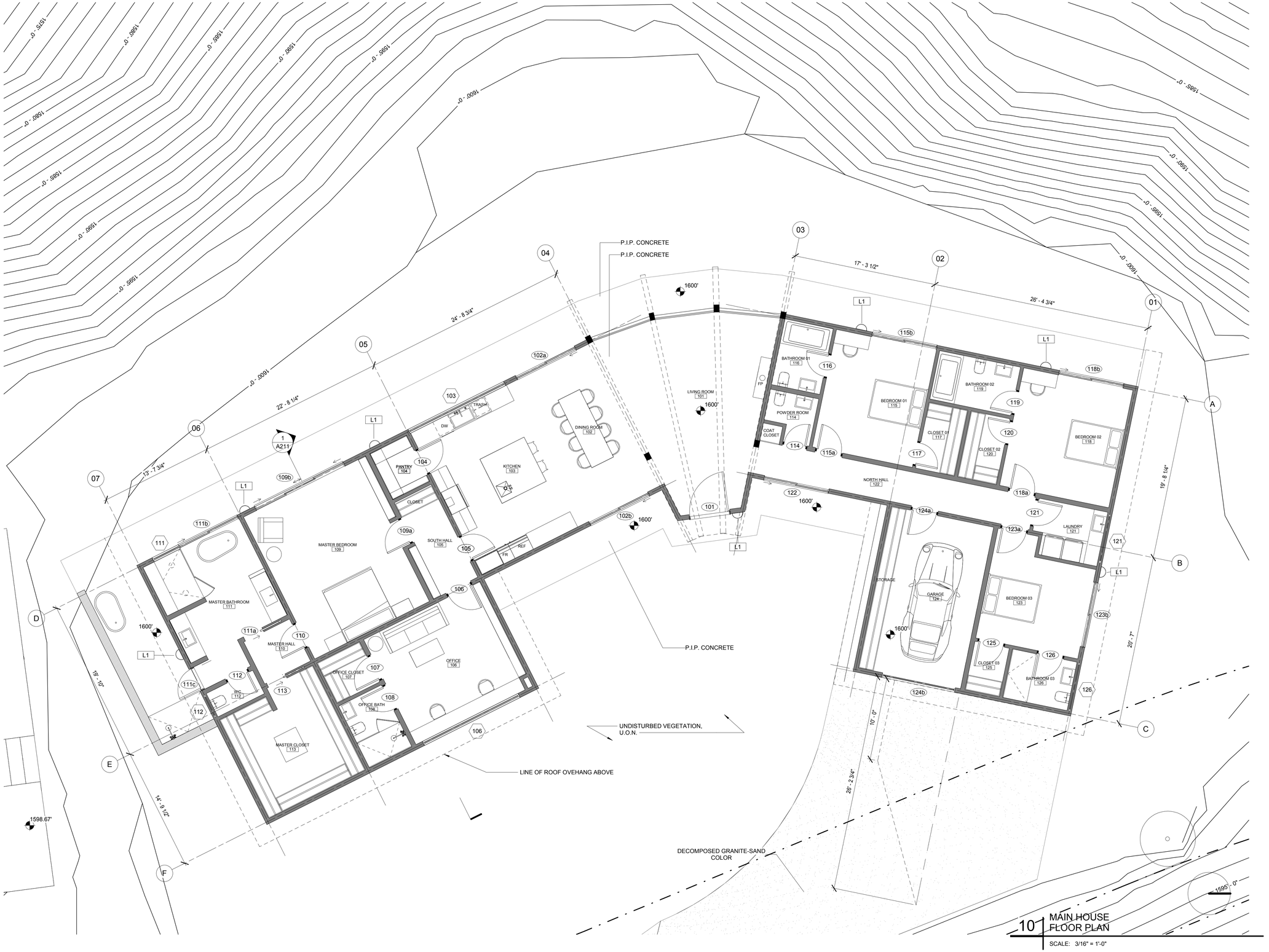
Date
SEPT. 25, 2020

Project No.
3045

Sheet Title
SITE PLAN

A010



10 MAIN HOUSE FLOOR PLAN

SCALE: 3/16" = 1'-0"

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT CORR.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
3045 TUNA CANYON ROAD,
TOPANGA, CA 90290

OWNER:
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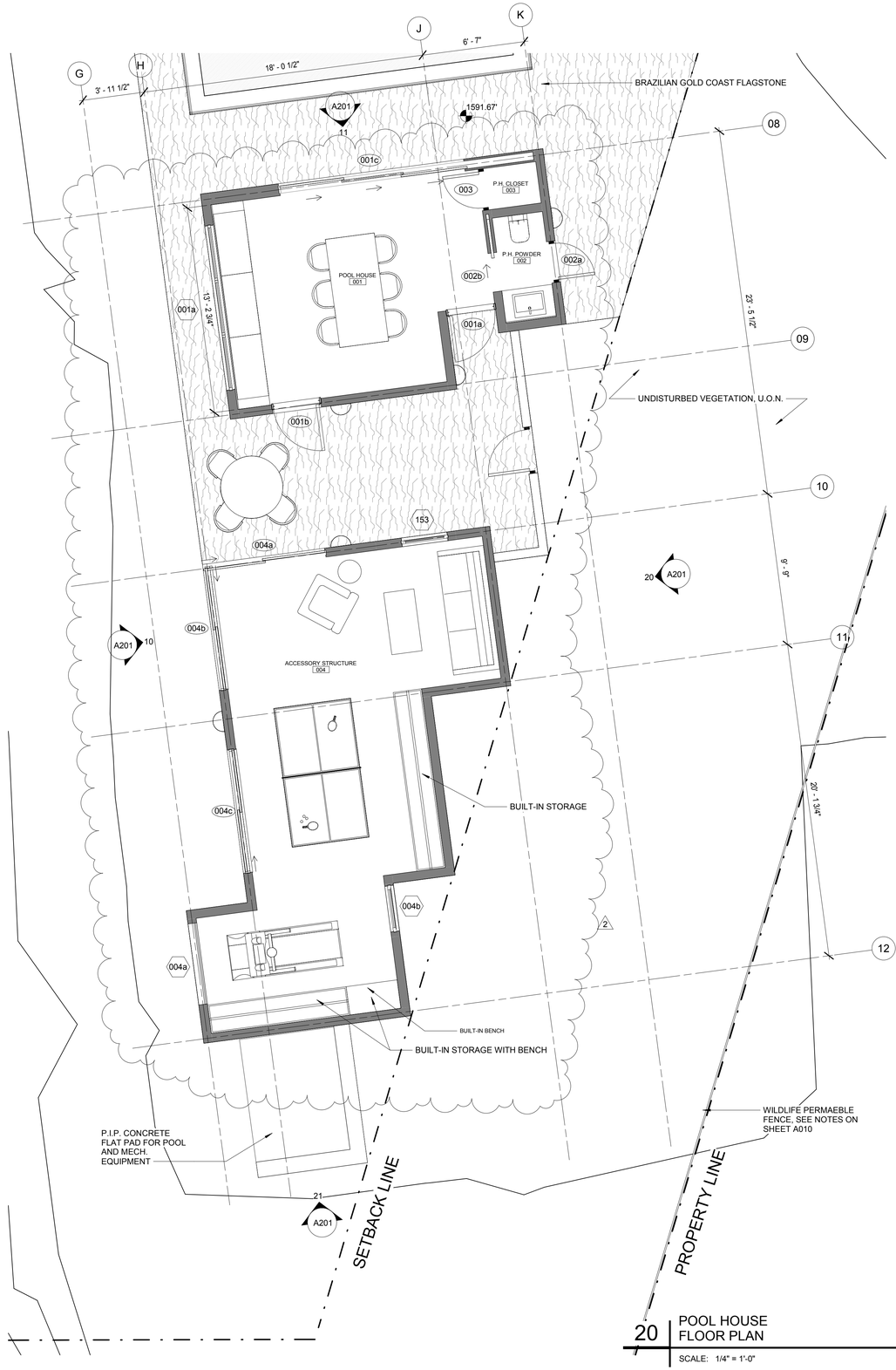
Date
SEPT. 25, 2020

Project No.
3045

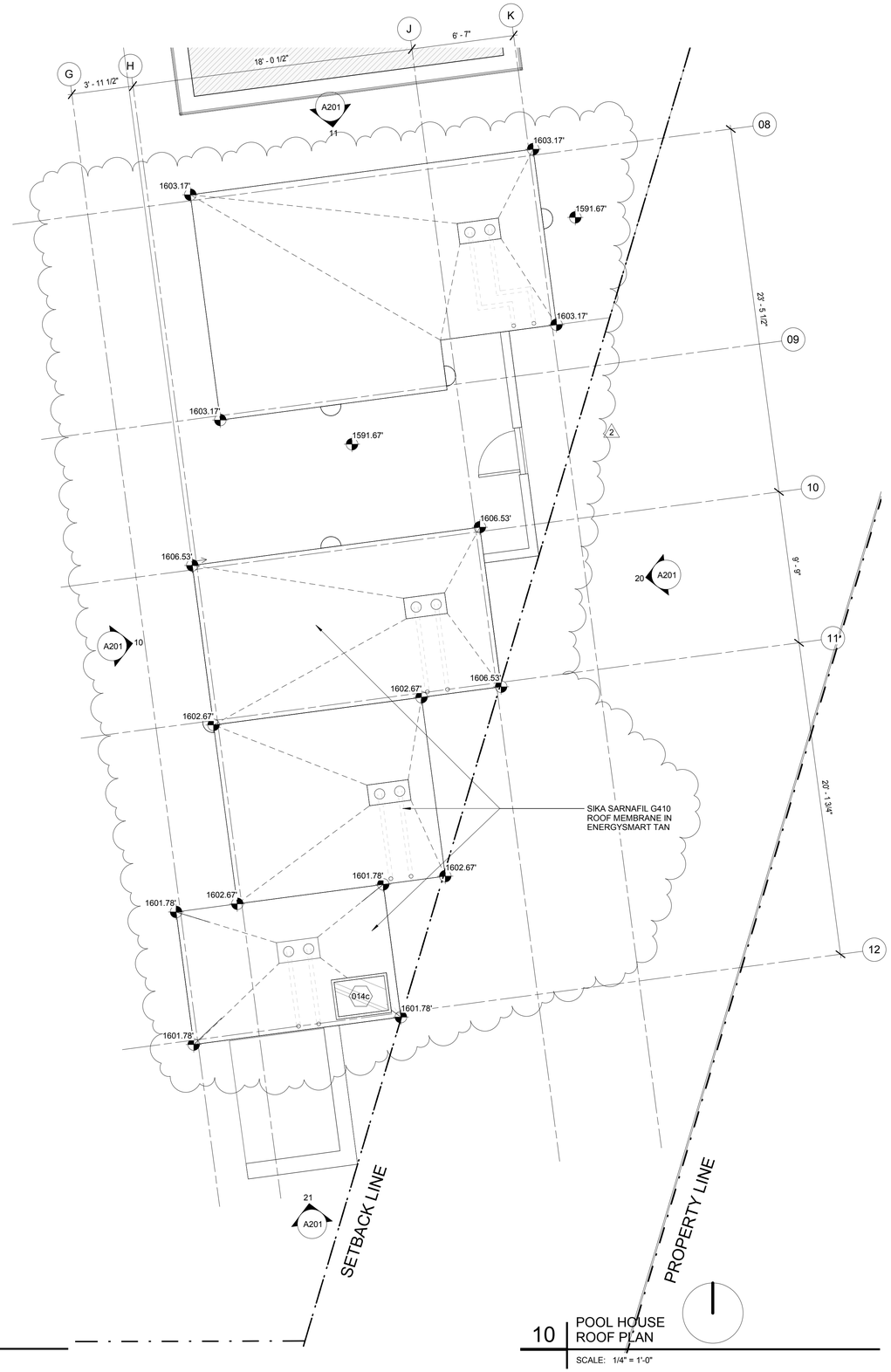
Sheet Title
MAIN HOUSE FLOOR PLAN

A101



20 POOL HOUSE FLOOR PLAN

SCALE: 1/4" = 1'-0"



10 POOL HOUSE ROOF PLAN

SCALE: 1/4" = 1'-0"

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT CORR.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
3045 TUNA CANYON ROAD,
TOPANGA, CA 90290

OWNER:
LEIGH HERZIG AND SETH GOLD
3045 TUNA CANYON ROAD
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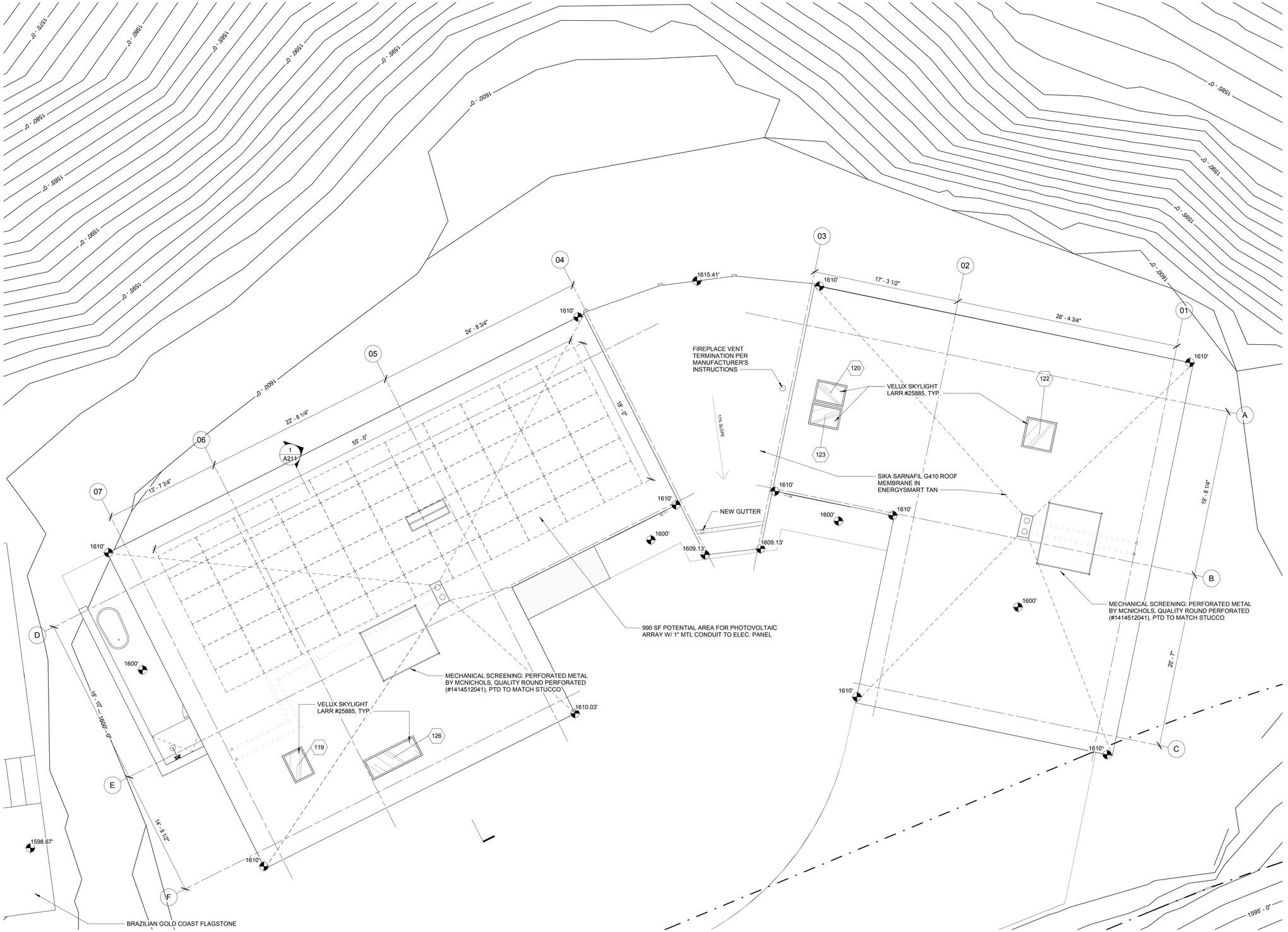
Date
SEPT. 25, 2020

Project No.
3045

Sheet Title
POOL HOUSE FLOOR PLANS

A102



10 ROOF PLAN

SCALE: 3/16" = 1'-0"

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT CORR.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
3045 TUNA CANYON ROAD,
TOPANGA, CA 90290

OWNER:
LEIGH HERZIG AND SETH GOLD
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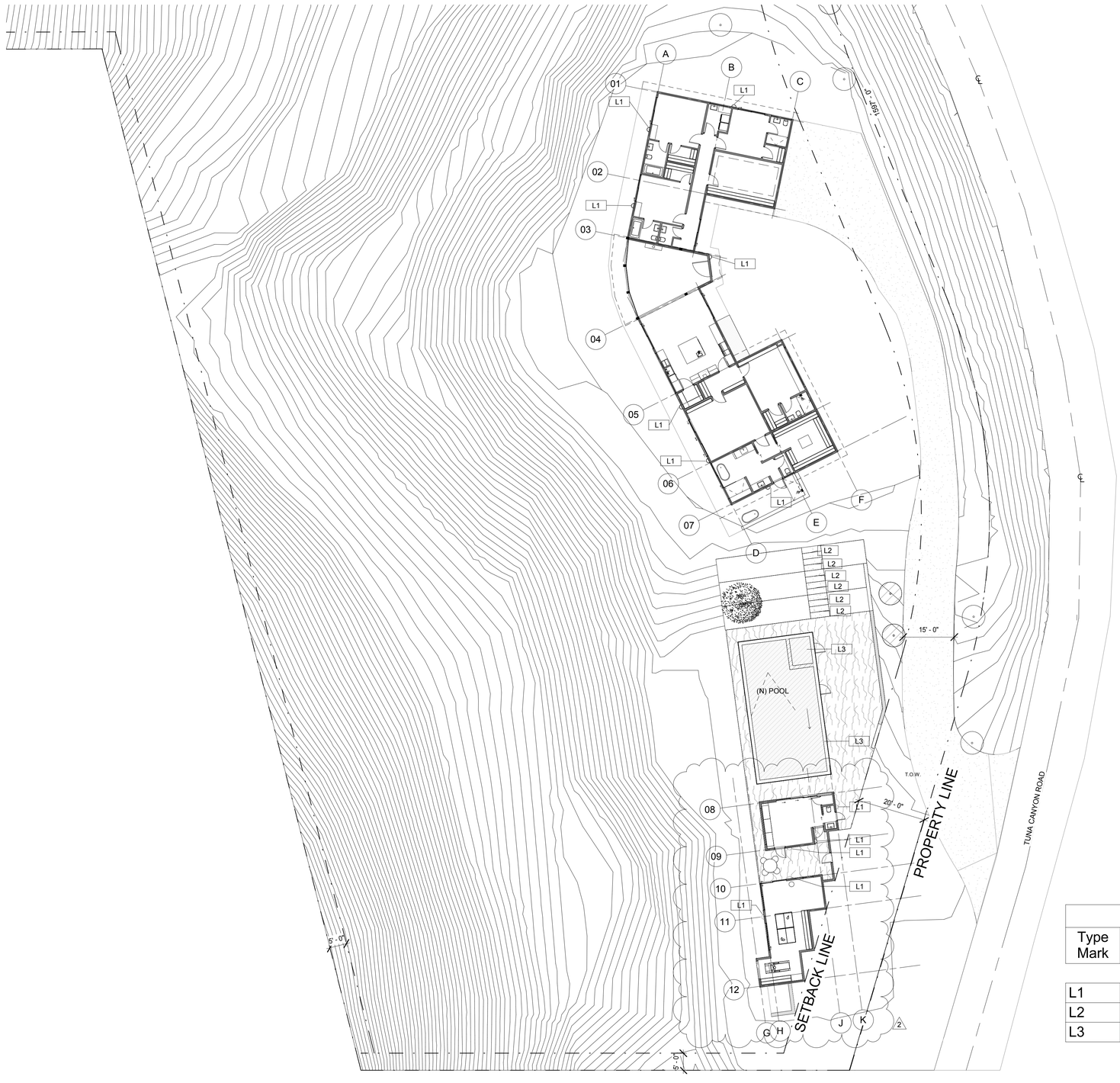
Date: SEPT. 25, 2020

Project No.: 3045

Sheet Title: MAIN HOUSE ROOF PLAN

A103



Exterior Lighting Fixture Schedule			
Type Mark	Keynote	Mounting Type-Location	Count
L1	EXTERIOR WALL SCONCE LED	Outdoor Wall	12
L2	STAIR LIGHT LED	Recessed	14
L3	POOL LIGHT LED	Recessed	2

10 LIGHTING PLAN

SCALE: 1/16" = 1'-0"

Note: All Exterior Lighting to follow Section 22.44.1270 of Title 22

Exterior lighting shall be minimized, restricted to low-intensity features, shielded and concealed to the maximum feasible extent using the best available dark skies technology to avoid or minimize impacts to biological resources and public views of the natural night sky and stars.

A. Any existing outdoor lighting shall be made to comply with the above mentioned section.
B. Security lighting attached to the principally permitted structure and other permitted accessory structures that is controlled by motion detectors and shall have a manufaturers maximum output rating of no greater than 60 watts or the equivalent.
C. The minimum lighting necessary shall be used to light walkways used for entry and exit to permitted structures on the site. This lighting shall be limited to fixtures that do not exceed two feet in height, that are directed downward, and have a manufacturer's maximum output rating of no more than 60 watts or the equivalent.
D. Outdoor light fixtures installed more than 15 feet above finished grade shall have a manufacturer's maximum output rating of no greater than 40 watts.
E. Light trespass. Outdoor lighting shall be minimized, directed toward the targeted area(s) only, and avoid light trespass onto non-target areas including but not limited to H1 and H2 habitat areas and the H1 habitat buffer.
F. Outdoor lighting shall be fully shielded, directed downward, and use best available dark skies technology.
G. Maximum Height.
   a. Outdoor light fixtures shall be the minimum height necessary to achieve the identified lighting design objectives. The maximum height for an outdoor light fixture shall be as follows:
      - Twenty feet
      - Two feet for lighting of walkways used for entry and exit to permitted structures.
H. Maintenance. Outdoor lighting shall be maintained in good repair and function as designed, with shielding securely attached to the outdoor lighting at all times.
I. Exemptions. The following outdoor lighting shall be exempt:
   a. Temporary events outdoor lighting
   b. Outdoor lighting used in and around swimming pools or water features for safety purposes.

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT CORR.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
3045 TUNA CANYON ROAD,
TOPANGA, CA 90290

OWNER:
LEIGH HERZIG AND SETH GOLD
3045 TUNA CANYON ROAD
917.690.2061

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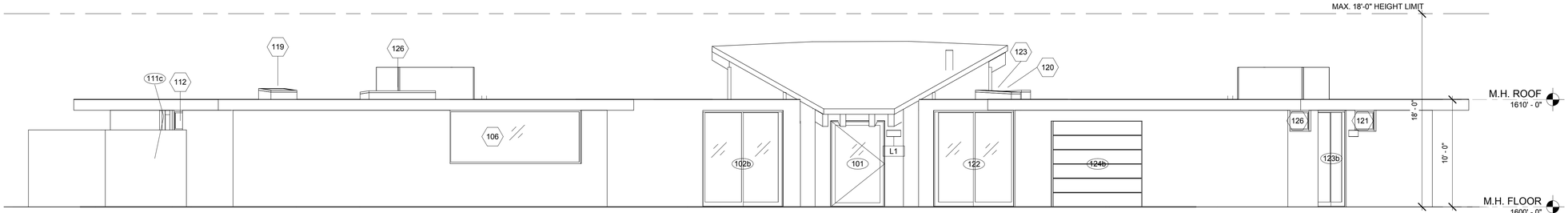
Date: SEPT. 25, 2020
Project No.: 3045

Sheet Title
EXTERIOR LIGHTING PLAN

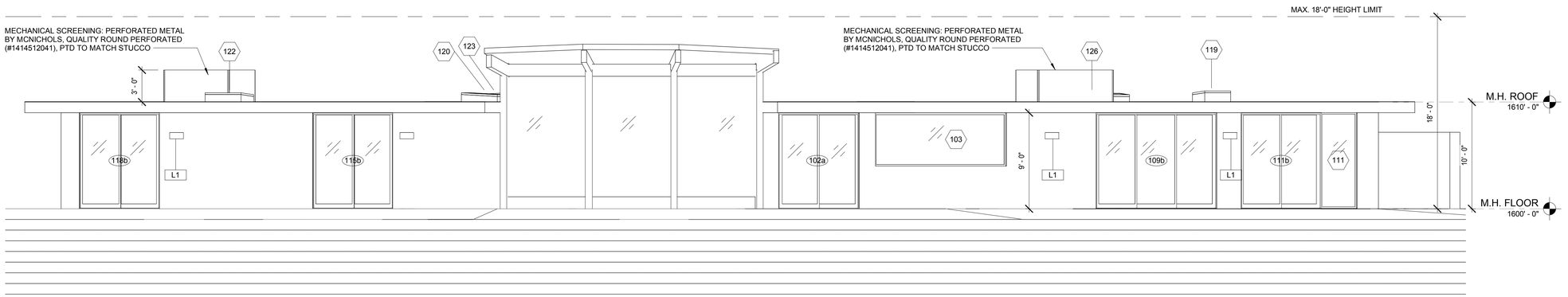
A141

NOTE: ALL EXTERIOR WALLS AND SOFFITS TO BE STUCCO
SMOOTH TROWELED IN COLOR: SANDSTONE
SEE COLOR CHART ON SHEET T005



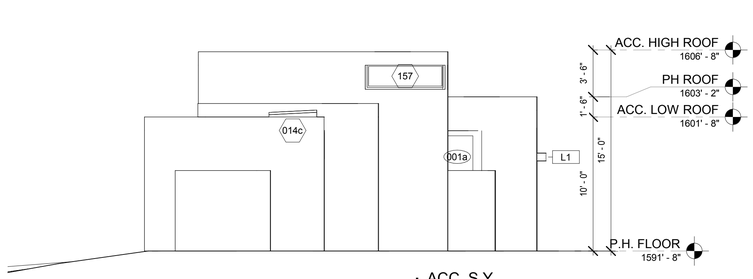
40 FRONT ELEVATION

SCALE: 3/16" = 1'-0"



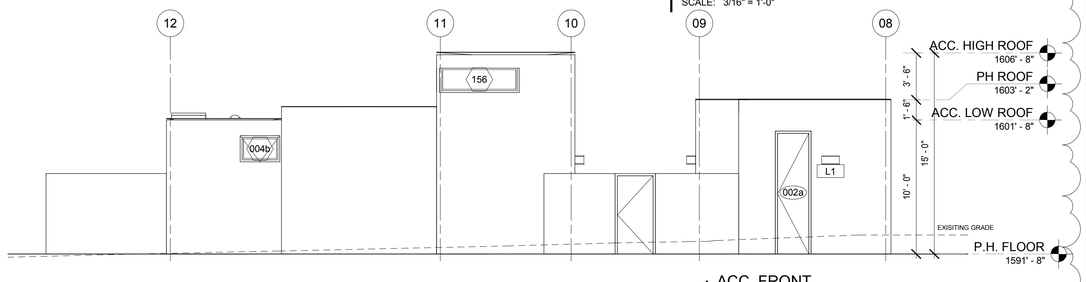
30 REAR ELEVATION

SCALE: 3/16" = 1'-0"



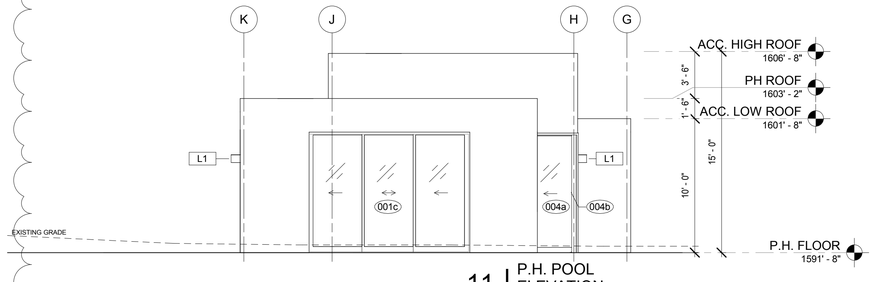
21 ACC. S.Y. ELEVATION

SCALE: 3/16" = 1'-0"



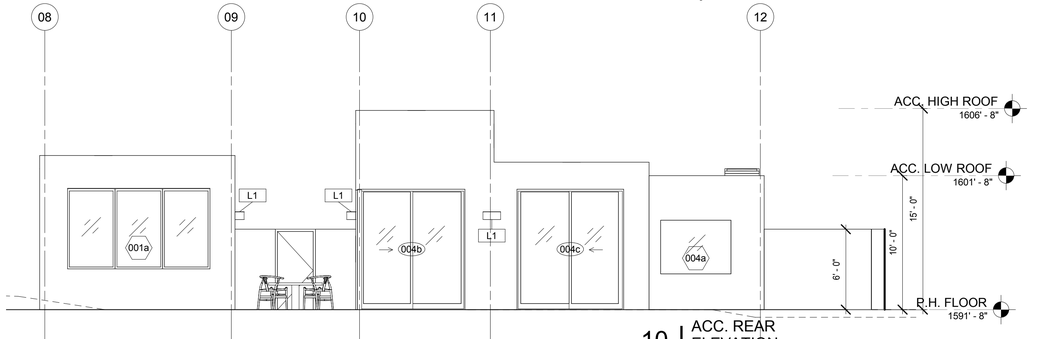
20 ACC. FRONT ELEVATION

SCALE: 3/16" = 1'-0"



11 P.H. POOL ELEVATION

SCALE: 3/16" = 1'-0"



10 ACC. REAR ELEVATION

SCALE: 3/16" = 1'-0"

FOR PERMIT

No.	Issue Name	Date
2	ZONING PERMIT CORR.	Date 2
1	ZONING PERMIT ISSUE	06.10.20

HERZIG GOLD
3045 TUNA CANYON ROAD,
TOPANGA, CA 90290

OWNER:
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3045 TUNA CANYON ROAD
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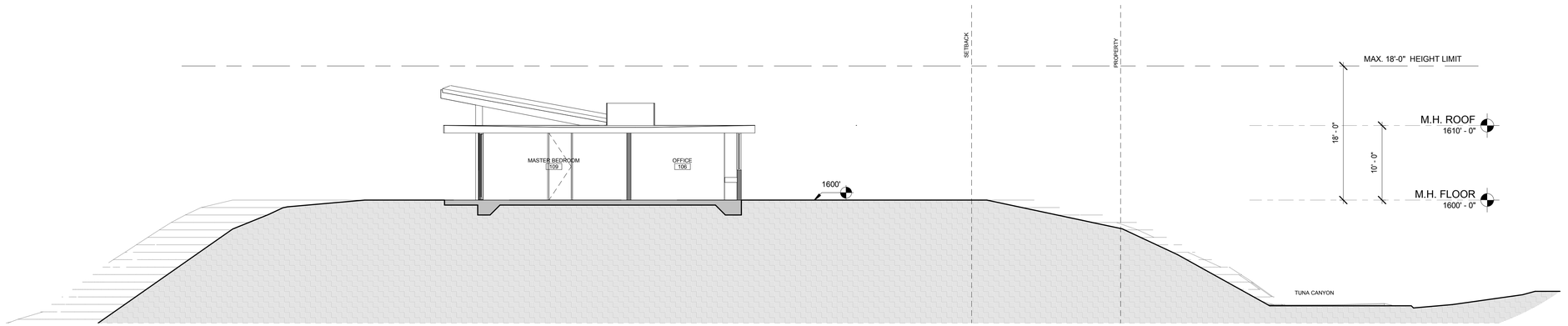
Date
SEPT. 25, 2020

Project No.
3045

Sheet Title
BUILDING ELEVATIONS

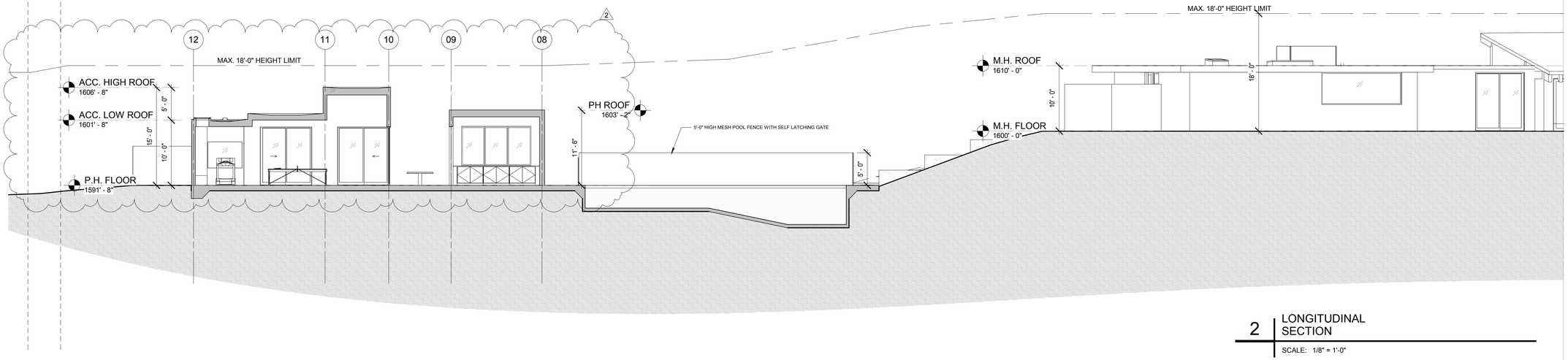
A201

NOTE: ALL EXTERIOR WALLS AND SOFFITS TO BE STUCCO
SMOOTH TROWELED IN COLOR: SANDSTONE
SEE COLOR CHART ON SHEET T005



1 MASTER BEDROOM SECTION

SCALE: 1/8" = 1'-0"



2 LONGITUDINAL SECTION

SCALE: 1/8" = 1'-0"

FOR PERMIT

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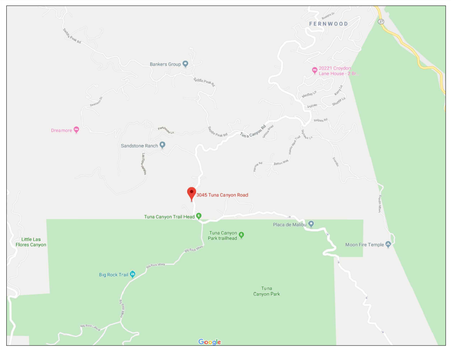
Date
SEPT. 25, 2020

Project No.
3045

Sheet Title
BUILDING SECTIONS

A211

HERZIG-GOLD RESIDENCE: GRADING, DRAINAGE, & EC PLANS



VICINITY MAP | 1

PROJECT LOCATION
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

LEGAL DESCRIPTION
ASSESSOR ID#: 4448-007-067

PROJECT INFORMATION
ZONING: R-C-20
LOT SIZE: 163,981 SQ.FT.
EXISTING ROOF IMPERMEABLE: 1,917 SQ.FT.
PROPOSED ROOF IMPERMEABLE: 4,261.9 SQ.FT.
FLOOD ZONE: D
CONSTRUCTION TYPE: V-B

PROJECT DATA | 2

OWNER
LEIGH HERZIG
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

PROJECT ARCHITECT
ANINA BACH DESIGN
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310.382.7358

CIVIL ENGINEER
JAMES TUCHSCHER, P.E.
TEG, INC.
5318 E. 2ND ST, #539
LONG BEACH, CA 90803
310.613.9980

SURVEYOR
JOHN JAHANPOUR-BURKE
H.J. BURKE, INC.
4079 N. RANCHO DRIVE, #150
LAS VEGAS, NV 89130
310.633.1213

GEOTECHNICAL ENGINEER
FEFFER GEOLOGICAL CONSULTING
1990 S. BUNDY DR., # 400
LOS ANGELES, CA 90025
310.207.5048

PROJECT DIRECTORY | 3

GRADING SUMMARY

	WITHIN FOOTPRINT	OUTSIDE OF FOOTPRINT 1	REMOVE AND RECOMPACT	TOTAL
CUT	10 CU.YD.	329 CU.YD.	0 CU.YD.	339 CU.YD.
FILL	15 CU.YD.	43 CU.YD.	0 CU.YD.	58 CU.YD.
			TOTAL	397 CU.YD.
			281 CU.YD.	EXPORT

GRADING INFORMATION | 4

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PROJECT GENERAL NOTES

1) PROPOSED STARTING DATE: _____
PROPOSED COMPLETION DATE: _____

2) THIS PLANS CONFORMS TO THE COASTAL DEVELOPMENT PERMIT APPROVED BY THE CITY FOR 3045 TUNA CANYON ROAD.

3) EXPORTED SOIL FROM A SITE SHALL BE TAKEN TO THE COUNTY LANDFILL OR TO A SITE WITH AN ACTIVE GRADING PERMIT AND THE ABILITY TO ACCEPT THE MATERIAL IN COMPLIANCE WITH THE CITY'S LOCAL IMPLEMENTATION PLAN (LIP).

DESIGN ENGINEER STATEMENT

I HEREBY VERIFY THAT THIS GRADING PLAN WAS PREPARED UNDER MY SUPERVISION IN ACCORDANCE WITH SECTION 3318.1 OF THE MALIBU BUILDING CODE. ALL SOILS ENGINEER AND ENGINEERING GEOLOGY RECOMMENDATIONS WERE INCORPORATED IN THE PLAN.

_____ _____
DESIGN ENGINEER SIGNATURE DATE

GEOTECHNICAL & GEOLOGICAL REPORT SUMMARY

GEOTECHNICAL INVESTIGATION REPORT, FILE NO. 2291-94, DATED JULY 22, 2019.

GENERAL GEOTECHNICAL NOTES

1) ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORT(S) AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.

2) GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOLOGY AND SOILS SECTION.

3) THE SOIL ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE PREPARATION OF THE NATURAL GROUND AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.

4) ROUGH GRADING MUST BE APPROVED BY A FINAL ENGINEERING GEOLOGY AND SOILS ENGINEERING REPORT. AN AS-BUILT GEOLOGIC MAP MUST INCLUDED IN THE FINAL GEOLOGY REPORT, PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS AND CODE PROVISIONS. THE FINAL REPORT(S) MUST BE SUBMITTED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION FOR REVIEW AND APPROVAL.

5) FOUNDATION, WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOIL ENGINEER, PRIOR TO THE PLACING OF STEEL OR CONCRETE.

6) BUILDING PADS LOCATED IN CUT/FILL TRANSITION AREAS SHALL BE OVER-EXCAVATED A MINIMUM OF THREE (3) FEET BELOW THE PROPOSED BOTTOM OF FOOTING IF GEOTECHNICAL REPORT DOES NOT SPECIFY GUIDELINES.

GENERAL NOTES

1. ALL GRADING AND CONSTRUCTION SHALL CONFORM TO THE 2017 COUNTY OF LOS ANGELES BUILDING CODES AND THE STATE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
2. ANY MODIFICATIONS OF OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
3. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL. A PRE-GRADING MEETING ON THE SITE REQUIRED BEFORE THE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADING INSPECTOR(S) OR THEIR REPRESENTATIVES, AND WHEN REQUIRED, THE ARCHAEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. PERMITTEE OR HIS AGENT ARE RESPONSIBLE FOR ARRANGING PRE-GRADE MEETING AND MUST NOTIFY THE BUILDING OFFICIAL AT LEAST TWO BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADE MEETING.
4. APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODES AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
5. ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH COUNTY OF LOS ANGELES CODE, TITLE 12, SECTION 12.12.030 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM, AND ON SUNDAYS AND HOLIDAYS.
6. CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING MEASURE HAVE BEEN TAKEN:
   a. THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
   b. IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDENTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
7. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
8. ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMPSITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
9. A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
10. SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.

GENERAL NOTES

11. NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE AS REQUIRED PER TITLE CHAPTER 22.56 OF THE COUNTY OF LOS ANGELES ZONING CODE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICH EVER IS GREATER.
    IF AN OAK TREE IS OBTAINED: (ADD THE FOLLOWING NOTE:)
    ALL GRADING AND CONSTRUCTION WITHIN THE PROTECTED ZONE OF ALL OAK TREES SHALL BE PER OAK TREE PERMIT NO. ____. ALL RECOMMENDATIONS IN THE PERMIT AND THE ASSOCIATED OAK TREE REPORT MUST BE COMPILED WITH AND AREA A PART OF THE GRADING PLAN. A COPY OF THE OAK TREE PERMIT AND ASSOCIATED REPORTS SHALL BE MAINTAINED IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
12. THE STANDARD RETAINING WALL DETAILS SHOWN ON THE GRADING PLANS ARE FOR REFERENCE ONLY. STANDARD RETAINING WALLS ARE NOT CHECKED, PERMITTED, OR INSPECTED PER THE GRADING PERMIT. A SEPARATE RETAINING WALL PERMIT IS REQUIRED FOR ALL STANDARD RETAINING WALLS.
13. A PREVENTATIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION J101.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND A FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
14. WHERE A GRADING PERMIT IS ISSUED AND THE BUILDING OFFICIAL DETERMINES THAT THE GRADING WILL NOT BE COMPLETED PRIOR TO NOVEMBER 1, THE OWNER OF THE SITE ON WHICH THE GRADING IS BEING PERFORMED SHALL, ON OR BEFORE OCTOBER 1, FILE OR CAUSE TO BE FILED WITH THE BUILDING OFFICIAL AN ESCP PER SECTION J110.8.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
15. TRANSFER OF RESPONSIBILITY: IF THE FIELD ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST OF RECORD IS CHANGED DURING GRADING, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.

AGENCY NOTES

26. AN ENCROACHMENT PERMIT FROM (COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS) IS REQUIRED FOR ALL WORK WITHIN OR AFFECTING ROAD RIGHT OF WAY. ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO (COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS) ENCROACHMENT PERMIT.
27. AN ENCROACHMENT PERMIT/CONNECTION PERMIT IS REQUIRED FROM THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT FOR ALL WORK WITHIN THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT RIGH TOF WAY. ALL WORK SHALL CONFORM TO CONDITIONS SET BY THE PERMIT.
28. PERMISSION TO OPERATE IN VERY HIGH FIRE SEVERITY ZONE MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU OR THE LOCAL FIRE STATION PRIOR TO COMMENCING WORK.
29. ALL WORK WITHIN THE STREAMBED AND AREAS OUTLINED ON GRADING PLANS SHALL CONFORM TO:
    ARMY CORP 404 PERMIT #:_____
    CALIFORNIA FISH & WILDLIFE PERMIT #:_____

INSPECTION NOTES

16. THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT FOLLOWING STAGES OF THE WORK. (SECTION J105.7 OF THE BUILDING CODE.)
    a. PRE-GRADE - BEFORE THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION.
    b. INITIAL - WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCARIFIED, BENCHED OR OTHERWISE PREPARED FOR FILL. FILL SHALL NOT BE PLACED PRIOR TO THIS INSPECTION. NOTE: PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING GRADING, ALL STORM WATER POLLUTION PREVENTION MEASURES INCLUDING EROSION CONTROL DEVICES WHICH CONTAIN SEDIMENTS MUST BE INSTALLED.
    c. ROUGH - WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED; DRAINAGE TERRACES, SWALES AND BERMS INSTALLED AT THE TOP OF THE SLOPE; AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
    d. FINAL - WHEN GRADING HAS BEEN COMPLETED; ALL DRAINAGE DEVICES INSTALLED; SLOPE PLANTING ESTABLISHED, IRRIGATION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED AND APPROVED.
17. IN ADDITION TO THE INSPECTION REQUIRED BY THE BUILDING OFFICIAL FOR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
18. UNLESS OTHERWISE DIRECTED BY THE BUILDING OFFICIAL, THE FIELD ENGINEER FOR ALL ENGINEERED GRADING PROJECTS SHALL PREPARE ROUTINE INSPECTION REPORTS AS REQUIRED UNDER SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE. THESE REPORTS, KNOWN AS "REPORT OF GRADING ACTIVITIES", SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AS FOLLOWS:
    1. BI-WEEKLY DURING ALL TIMES WHEN GRADING OF 400 CUBIC YARDS OR MORE PER WEEK IS OCCURRING ON THE SITE;
    2. MONTHLY, AT ALL OTHER TIMES; AND
    3. AT ANY TIME WHEN REQUESTED IN WRITING BY THE BUILDING OFFICIAL SUCH "REPORT OF GRADING ACTIVITIES" SHALL CERTIFY TO THE BUILDING OFFICIAL THAT THE FIELD ENGINEER HAS INSPECTED THE GRADING SITE AND RELATED ACTIVITIES AND HAS FOUND THEM IN COMPLIANCE WITH THE APPROVED GRADING PLANS AND SPECIFICATIONS, THE BUILDING CODE, ALL GRADING PERMIT CONDITIONS, AND ALL OTHER APPLICABLE ORDINANCES AND REQUIREMENTS. THIS FORM IS AVAILABLE AT THE FOLLOWING WEBSITE HTTP://DPW.LACOUNTY.GOV/BSD/DG/DEFAULT.ASPX. "REPORT OF GRADING ACTIVITIES" MAY BE SCANNED AND UPLOADED AT THE WEBSITE OR FAXED TO (310)530-5482. FAILURE TO PROVIDE REQUIRED INSPECTION REPORTS WILL RESULT IN A "STOP WORK ORDER."
19. ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS, AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING APPROVAL PER SECTION J105.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
20. THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE AT THE COMPLETION OF ROUGH GRADING.
21. FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED PER SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

DRAINAGE NOTES

22. ROOF DRAINAGE MUST BE DIVERTED FROM GRADED SLOPES.
23. PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
24. ALL CONSTRUCTION AND GRADING WITHIN A STORM DRAIN EASEMENT ARE TO BE DONE PER PRIVATE DRAIN PD NO._____ MISCELLANEOUS TRANSFER DRAIN MTD NO._____.
25. ALL STORM WORK IS TO BE DONE UNDER CONTINUOUS INSPECTION BY THE FIELD ENGINEER. STATUS REPORTS REQUIRED UNDER NOTE 18 AND SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE SHALL INCLUDE INSPECTION INFORMATION AND REPORTS ON THE STORM DRAIN INSTALLATION.

TOTAL DISTURBED AREA: 28,058 SQ.FT.
(INCLUDING GRADING, CLEARING, AND LANDSCAPING AREA)
TOTAL PROPOSED LANDSCAPING AREA: 157,336.7 SQ.FT.
TOTAL TURF AREA: 0 SQ.FT.
TOTAL DROUGHT TOLERANT LANDSCAPING AREA: 0 SQ.FT. 1
TOTAL EXISTING IMPERVIOUS SURFACE AREA: 1,917.0 SQ.FT.
TOTAL PROPOSED IMPERVIOUS SURFACE AREA: 6,209.9 SQ.FT.
FLOOD ZONE ON FIRM: D
BASE FLOOD ELEVATION: N/A
POST-CONSTRUCTION BMP FEATURE(S) GPS COORDINATES: X: 34.061330, Y:-118.617707 (TREE), X: 34.061300, Y:-118.617707 (TREE)
INTENDED LAND USE: SINGLE FAMILY RESIDENCE

FILL NOTES

37. ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
    a. 90 PERCENT OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE.
    b. 93 PERCENT OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90 PERCENT OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER.
    c. 95 PERCENT OF MAXIMUM DRY DENSITY IS REQUIRED FOR ALL FIRE LANES OTHERWISE APPROVED BY THE FIRE DEPARTMENT.
38. FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST, UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.
39. SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
    a. ONE TEST FOR EACH TWO-FOOT VERTICAL LIFT.
    b. ONE TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED.
    c. ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEROF.
    d. ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
40. SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS, AS DETERMINED BY THE SOIL ENGINEER INCLUDING SOIL TYPES, SHEAR STRENGTHS PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES.
    a. PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL OR SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL.
    b. SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE THE SLOPE STABILITY REQUIREMENTS. OTHERWISE, THE SLOPE MUST BE REEVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE.
    c. FILL SOILS SHALL BE FREE OF DELTERIOUS MATERIALS.
41. FILL SHALL NOT BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAIN (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE SOIL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTED IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND THE SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
42. ROCK OR SIMILAR MATERIAL GREATER THAN 12 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOIL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT, AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.

CONT. ON C-1.1

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310.613.9980
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TEG TUCHSCHER ENGINEERING GROUP

STAMP

STAMP DATE
9/22/2020

DRAWING
TITLE SHEET

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

REVISIONS	BY
1 9/22/2020	JB

PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: N/A

C-1.0
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CONT. ON C-1

AGENCY NOTES CONT.

30. ALL CONSTRUCTION/DEMOLITION, GRADING AND STORAGE OF BULK MATERIALS MUST COMPLY WITH THE LOCAL AQMD RULE 403 FOR FUGITIVE DUST. INFORMATION ON RULE 403 IS AVAILABLE AT AQMD'S WEBSITE HTTP://WWW.AVAQMD.COM.

CONT. FILL NOTES

43. CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1. (SECTION J107.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
44. CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL SUBDRAIN INSTALLATION. (SECTION J107.2 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
45. ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AND ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
46. FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE ANGLE OF THE SLOPE, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. (SECTION J107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)

PLANTING AND IRRIGATION NOTES

47. PLANTING AND IRRIGATION ON GRADED SLOPES MUST COMPLY WITH THE FOLLOWING MINIMUM GUIDELINES:
    a. THE SURFACE OF ALL CUT SLOPES MORE THAN 5 FEET IN HEIGHT AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT SHALL BE PROTECTED AGAINST DAMAGE BY EROSION BY PLANTING WITH GRASS OR GROUNDCOVER PLANTS. SLOPES EXCEEDING 15 FEET IN VERTICAL HEIGHT SHALL ALSO BE PLANTED WITH SHRUBS, SPACED AT NOT TO EXCEED 10 FEET ON CENTERS; OR TREES, SPACED AT NOT TO EXCEED 20 FEET ON CENTERS, OR A COMBINATION OF SHRUBS AND TREES AT EQUIVALENT SPACING, IN ADDITION TO THE GRASS OR GROUNDCOVER PLANTS. THE PLANTS SELECTED AND PLANTING METHODS USED SHALL BE SUITABLE FOR THE SOIL AND CLIMATIC CONDITIONS OF THE SITE. PLANT MATERIAL SHALL BE SELECTED WHICH WILL PRODUCE A COVERAGE OF PERMANENT PLANTING EFFECTIVELY CONTROLLING EROSION. CONSIDERATIONS SHALL BE GIVEN TO DEEP-ROOTED PLANTING MATERIAL NEEDING LIMITED WATERING, MAINTENANCE, HIGH ROOT TO SHOOT RATIO, WIND SUSCEPTIBILITY AND FIRE-RETARDANT CHARACTERISTICS. ALL PLANT MATERIALS MUST BE APPROVED BY THE BUILDING OFFICIAL. (SECTION J110.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
    NOTE: PLANTING MAY BE MODIFIED FOR THE SITE IF SPECIFIC RECOMMENDATIONS ARE PROVIDED BY BOTH THE SOILS ENGINEER AND A LANDSCAPE ARCHITECT. SPECIFIC RECOMMENDATIONS MUST CONSIDER SOILS AND CLIMATIC CONDITIONS, IRRIGATION REQUIREMENTS, PLANTING METHODS, FIRE RETARDANT CHARACTERISTICS, WATER EFFICIENCY, MAINTENANCE NEEDS, AND OTHER REGULATORY REQUIREMENTS. RECOMMENDATIONS MUST INCLUDE A FINDING THAT THE ALTERNATIVE PLANTING WILL PROVIDE A PERMANENT AND EFFECTIVE METHOD OF EROSION CONTROL. MODIFICATIONS TO PLANTING MUST BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
    b. SLOPES REQUIRED TO BE PLANTED BY SECTION J110.3 SHALL BE PROVIDED WITH AN APPROVED SYSTEM OF IRRIGATION THAT IS DESIGNATED TO COVER ALL PORTIONS OF THE SLOPE. IRRIGATION SYSTEM PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. A FUNCTIONAL TEST OF THE SYSTEM MUST BE REQUIRED. FOR SLOPES LESS THAN 20 FEET IN VERTICAL HEIGHT, HOSE BIBS TO PERMIT HAND WATERING WILL BE ACCEPTABLE IF SUCH HOSE BIBS ARE INSTALLED AT CONVENIENTLY ACCESSIBLE LOCATIONS WHERE A HOSE IS NO LONGER THAN 50 FEET IS NECESSARY FOR IRRIGATION. THE REQUIREMENTS FOR PERMANENT IRRIGATIONS SYSTEMS MAY BE MODIFIED UPON SPECIFIC RECOMMENDATION OF A LANDSCAPE ARCHITECT OR EQUIVALENT AUTHORITY THAT, BECAUSE OF THE TYPE OF PLANTS SELECTED, THE PLANTING METHODS USED AND THE SOIL AND CLIMATIC CONDITIONS AT THE SITE, IRRIGATION WILL NOT BE NECESSARY FOR THE MAINTENANCE OF THE SLOPE PLANTING (SECTION J110.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
    c. OTHER GOVERNMENTAL AGENCIES MAY HAVE ADDITIONAL REQUIREMENTS FOR LANDSCAPING AND IRRIGATION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE WITH OTHER AGENCIES TO MEET THEIR REQUIREMENTS WHILE MAINTAINING COMPLIANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODE.
48. THE PLANTING AND IRRIGATION SYSTEMS SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER ROUGH GRADING. PRIOR TO FINAL GRADING APPROVAL ALL REQUIRED SLOPE PLANTING MUST BE WELL ESTABLISHED. (SECTION J110.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
49. LANDSCAPE IRRIGATION SYSTEM SHALL BE DESIGNED AND MAINTAINED TO PREVENT SPRAY ON STRUCTURES. (TITLE 31, SECTION 5.407.2.1)
50. PRIOR TO ROUGH GRADE APPROVAL THIS PROJECT REQUIRES A LANDSCAPE PERMIT. LANDSCAPE PLANS IN COMPLIANCE WITH THE "MODEL WATER EFFICIENT LANDSCAPE ORDINANCE" TITLE 23, CHAPTER 2.7 OF CALIFORNIA CODE OF REGULATIONS (AB1881) MUST BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS, LAND DEVELOPMENT DIVISION. (900 S. FREMONT AVE, ALHAMBRA - 3RD FLOOR, CA 91083 (626)458-4921). TO OBTAIN LANDSCAPE PERMIT APPROVED PLANS AND WATER PURVEYOR ACKNOWLEDGMENT FORM MUST BE SUBMITTED TO THE LOCAL BUILDING AND SAFETY OFFICE.

BEST MANAGEMENT PRACTICE NOTES:

1) IN CASE OF EMERGENCY, CALL _____ AT _____

2) TOTAL DISTURBED AREA _____ WDID #_____
   I. RISK LEVEL 1 2 3 (CIRCLE ONE AS DETERMINED BY STATE GENERAL PERMIT FOR SITES GREATER THAN 1 ACRE)

3) A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.

4) EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.

5) GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.

6) ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.

7) A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF THE WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPTIONS.

8) THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.

9) DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.

10) STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES, THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.

11) EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITES AT ALL TIMES.

12) ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.

13) STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.

14) FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

15) EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.

16) DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPS ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 50% OR GREATER PROBABILITY OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).

17) TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

18) SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

19) ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

20) AS THE ENGINEER/QSD OF RECORD, I HAVE SELECTED APPROPRIATE BMPS TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPS MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS.

_____ _____
CIVIL ENGINEER/QSD SIGNATURE DATE

21) THE FOLLOWING NOTES MUST BE ON THE PLAN:

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, "I CERTIFY THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ENSURE THAT A QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSONS OR PERSONS WHO MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SUBMITTED IS TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT SUBMITTING FALSE AND/OR INACCURATE INFORMATION, FAILING TO UPDATE THE ESCP TO REFLECT CURRENT CONDITIONS, OR FAILING TO PROPERLY AND/OR ADEQUATELY IMPLEMENT THE ESCP MAY RESULT IN REVOCATION OF GRADING AND/OR OTHER PERMITS OR OTHER SANCTIONS PROVIDED BY LAW."

22) DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPS ARE INSTALLED AND FUNCTIONING PROPERLY AS REQUIRED BY THE STATE CONSTRUCTION GENERAL PERMIT. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL

23) THE FOLLOWING BMPS FROM THE "CASQA CONSTRUCTION BMP ONLINE HANDBOOK" MUST BE IMPLEMENTED FOR ALL CONSTRUCTION ACTIVITIES AS APPLICABLE. AS AN ALTERNATIVE, DETAILS FROM "CALTRANS STORMWATER QUALITY HANDBOOKS, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP) MANUAL" MAY BE USED. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE BUILDING OFFICIAL.

EROSION CONTROL
EC-1 SCHEDULING
EC-2 PRESERVATION OF EXISTING VEGETATION
EC-3 HYDRAULIC MULCH
EC-4 HYDROSEEDING
EC-5 SOIL BINDERS
EC-6 STRAW MULCH
EC-7 GEOTEXTILES & MATS
EC-8 WOOD MULCHING
EC-9 EARTH DIKES AND DRAINAGE SWALES
EC-10 VELOCITY DISSIPATION DEVICES
EC-11 SLOPE DRAINS
EC-12 STREAMBANK STABILIZATION
EC-14 COMPOST BLANKETS
EC-15 SOILS PREPARATION/ROUGHENING
EC-16 NON-VEGETATED STABILIZATION

TEMPORARY SEDIMENT CONTROL
SE-1 SILT FENCE
SE-2 SEDIMENT BASIN
SE-3 SEDIMENT TRAP
SE-4 CHECK DAM
SE-5 FIBER ROLLS
SE-6GRAVEL BAG BERM
SE-7 STREET SWEEPING AND VACUUMING
SE-8 SANDBAG BARRIER
SE-9 STRAW BALE BARRIER
SE-10 STORM DRAIN INLET PROTECTION
SE-11 ACTIVE TREATMENT SYSTEMS
SE-12 TEMPORARY SILT DIKE
SE-13 COMPOST SOCKS & BERMS
SE-14 BIOFILTER BAGS

WIND EROSION CONTROL
WE-1 WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL
TC-1 STABILIZED CONSTRUCTION ENTRANCE EXIT ROADWAY
TC-2 STABILIZED CONSTRUCTION
TC-3 ENTRANCE/OUTLET TIRE WASH

NON-STORMWATER MANAGEMENT
NS-1 WATER CONSERVATION PRACTICES
NS-2 DEWATERING OPERATIONS
NS-3 PAVING AND GRINDING OPERATIONS
NS-4 TEMPORARY STREAM CROSSING
NS-5 CLEAR WATER DIVERSION
NS-6 ILLICIT CONNECTION/DISCHARGE
NS-7 POTABLE WATER/IRRIGATION
NS-8 VEHICLE AND EQUIPMENT CLEANING
NS-9 VEHICLE AND EQUIPMENT CLEANING
NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
NS-11 PILE DRIVING OPERATIONS
NS-12 CONCRETE CURING
NS-13 CONCRETE FINISHING
NS-14 MATERIAL AND EQUIPMENT USE
NS-15 DEMOLITION ADJACENT TO WATER
NS-16 TEMPORARY BATCH PLANTS

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL
WM-1 MATERIAL DELIVERY AND STORAGE
WM-2 MATERIAL USE
WM-3 STOCKPILE MANAGEMENT
WM-4 SPILL PREVENTION AND CONTROL
WM-5 SOLID WASTE MANAGEMENT
WM-6 HAZARDOUS WASTE MANAGEMENT
WM-7 CONTAMINATION SOIL MANAGEMENT
WM-8 CONCRETE WASTE MANAGEMENT
WM-9 SANITARY/SEPTIC WASTE MANAGEMENT
WM-10 LIQUID WASTE MANAGEMENT

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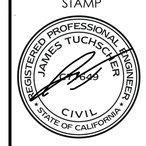

STAMP DATE
9/22/2020

DRAWING
GENERAL NOTES

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

REVISIONS	BY
⚠ 9/22/2020	JB
△	
△	
△	
△	

PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: N/A

C-1.1
SHEET 2 OF 12

EXISTING SITE PLAN

SCALE: 1" = 20'-0" | 1

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REGISTERED PROFESSIONAL ENGINEER JAMES TUCHSCHER C77649 CIVIL STATE OF CALIFORNIA

STAMP DATE 9/22/2020

DRAWING
EXISTING SITE PLAN

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

REVISIONS	BY
△ 9/22/2020	JB
△	
△	
△	
△	

PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: 1" = 20'-0"

C-2.0

SHEET 3 OF 12

GRADING NOTES

1. ALL RETAINING WALLS, POOLS, AND SPAS ARE TO BE UNDER A SEPARATE PERMIT.

BUILDING SITE SUMMARY	
DESCRIPTION	AREA
TOTAL BUILDING SITE	8957.4 SQ.FT.

GRADING PLAN LEGEND

- (100') EXISTING MAJOR GRADE CONTOUR
- (101') EXISTING MINOR GRADE CONTOUR
- 100' PROPOSED MAJOR GRADE CONTOUR
- 101' PROPOSED MINOR GRADE CONTOUR
- (100') EXISTING MAJOR GRADE CONTOUR TO BE REMOVED
- (101') EXISTING MINOR GRADE CONTOUR TO BE REMOVED
- CUT & FILL TRANSITION/DAYLIGHT BOUNDARY
- CUT AREA
- FILL AREA
- OUTLINE OF DISTURBED AREA
- OUTLINE AT GRADE
- RETAINING WALL
- (N) SITE WALL

CONSTRUCTION NOTES

1. (E) BUILDING OUTLINE
2. (N) ADDITION BUILDING OUTLINE
3. DRIVEWAY
4. POOL TO BE DEVELOPED UNDER SEPARATE PERMIT
5. (N) SITE WALL

GRADING SUMMARY				
	WITHIN FOOTPRINT	OUTSIDE OF FOOTPRINT	REMOVE AND RECOMPACT	TOTAL
CUT	10 CU.YD.	329 CU.YD.	0 CU.YD.	339 CU.YD.
FILL	15 CU.YD.	43 CU.YD.	0 CU.YD.	58 CU.YD.
			TOTAL	397 CU.YD.
			281 CU.YD.	EXPORT

DIGALERT — EXCAVATION NOTICE: BEFORE A PERMIT TO EXCAVATE WILL BE VALID, CONTACT DIG ALERT FOR DIG ALERT IDENTIFICATION NUMBER 48 HOURS BEFORE EXCAVATION — CALL 811

GRADING PLAN — SCALE: 1" = 15'-0" — 1

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DRAWING
GRADING PLAN

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

REVISIONS	BY
1 9/22/2020	JB
2	
3	
4	
5	

PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: 1" = 15'-0"

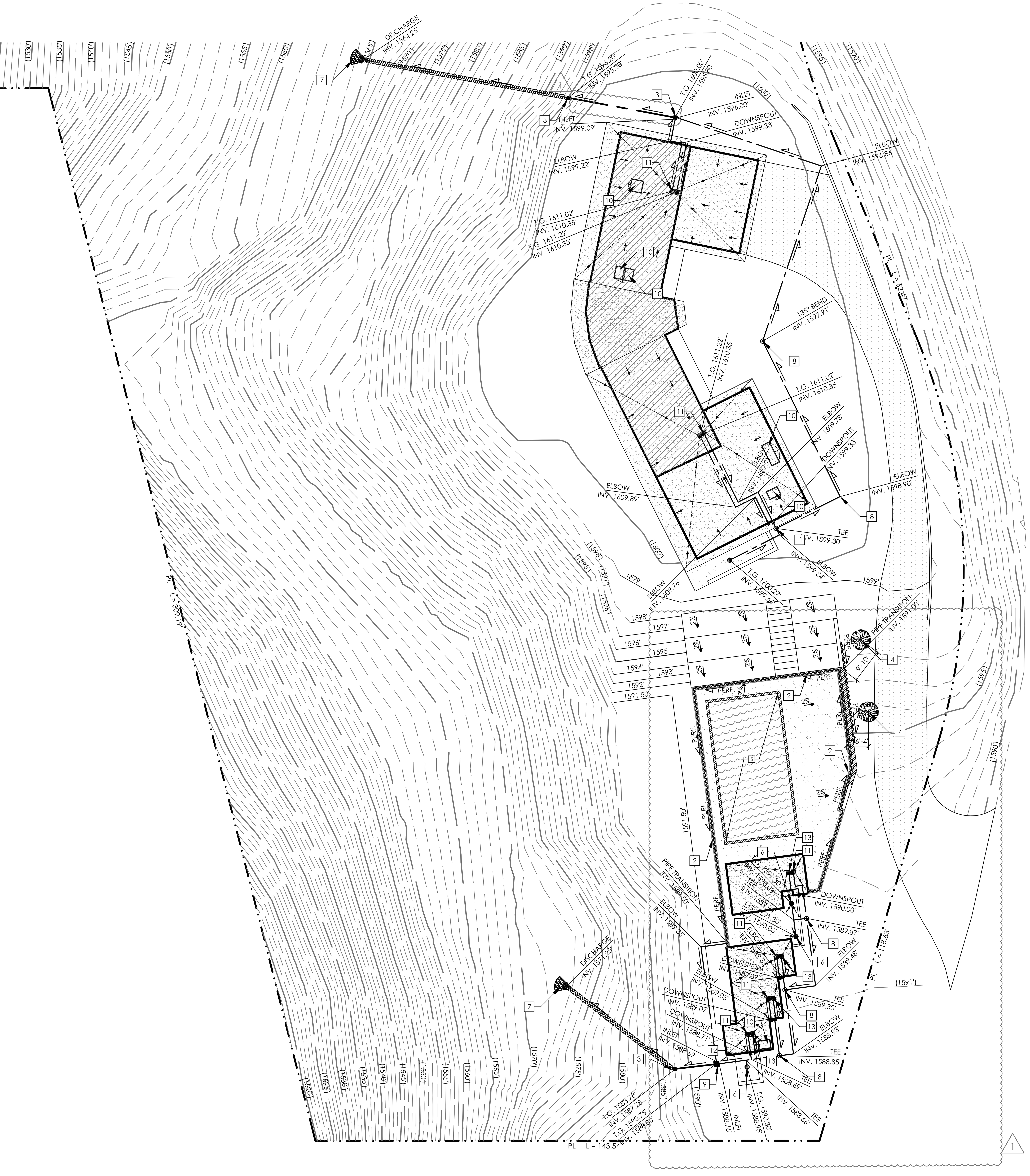
C-3.0

SHEET 4 OF 12

DRAINAGE NOTES

1. 2% MIN. SLOPE TO DRAINAGE DEVICE AND / OR STREET AT ALL PAD AREAS.
2. 2% MIN. SLOPE AWAY FROM BUILDINGS AT AREAS OF HARDSCAPE AT ADJACENT 5 FEET.
3. 5% MIN. SLOPE AWAY FROM BUILDINGS AT AREAS OF SOFTSCAPE AT ADJACENT 5 FEET.
4. PROVIDE CATCH BASIN INLET DRAINS WITH STENCIL PER DETAIL 1/C-6.0.

LID SUMMARY - INCIDENTAL PERMEABLE AREA	
DESCRIPTION	AREA
DRIVEWAY (DECOMPOSED GRANITE)	3314.5 SQ.FT.
TOTAL PAVERS	3314.5 SQ.FT.



DRAINAGE PLAN

SCALE: 1" = 15'-0" 1

DRAINAGE PLAN LEGEND

Symbol	Description
(100')	EXISTING MAJOR GRADE CONTOUR
(101')	EXISTING MINOR GRADE CONTOUR
100'	PROPOSED MAJOR GRADE CONTOUR
101'	PROPOSED MINOR GRADE CONTOUR
	12"Ø SINGLE WALLED CORRUGATED PIPE
	6"Ø SOLID SCHEDULE 40 PVC PIPE (revision 1)
	4"Ø SOLID SCHEDULE 40 PVC PIPE
	3"Ø SOLID SCHEDULE 40 PVC PIPE
	4"Ø PERFORATED SCHEDULE 40 PVC PIPE W/ HOLES FACING DOWNWARD
	4" GUTTER
	4" DOWNSPOUT PER PLAN
	4"Ø AREA DRAIN W/ MIN. 2% SLOPE TO DRAIN
	CLEANOUT PER PLAN
	CATCH BASIN PER PLAN
	RIP RAP
	15 GALLON TREE
	IMPERMEABLE AREA (DENSITY OF HATCH PROPORTIONAL TO ELEVATION)
	DECOMPOSED GRANITE WITH GRAVEL PAVE INVISIBLE STRUCTURE PER ARCHITECTURAL PLAN
	POOL
	NON-SPECIFIC PERMEABLE AREA
	EXISTING TO REMAIN/OUT OF SCOPE
PERF.	12" FRENCH DRAIN PER DETAIL 4/C-6.0
	SKYLIGHT
	DIRECTION OF SHEET FLOW
	DIRECTION OF PIPE FLOW
PERF.	DRAIN PATH FOR PERFORATED PIPE

CONSTRUCTION NOTES

No.	Note
1	4" DOWNSPOUT
2	INSTALL FRENCH DRAIN PROVIDE 4"Ø PERF PIPE (HOLES FACING DOWNWARD W/ 12"X24" GRAVEL POCKET WRAPPED IN MIRAFI FILTER FABRIC PER DETAIL 4/C-6.0
3	12" SQUARE CONCRETE CATCH BASIN AS CLEAN OUT PER DETAIL 5/C-6.0
4	15 GALLON TREE
5	POOL PER SEPARATE PERMIT
6	4" AREA DRAIN PER DETAIL 2/C-6.0
7	RIP RAP
8	4" CLEANOUT
9	18" SQUARE CONCRETE CATCH BASIN AS CLEANOUT PER DETAIL 5/C-6.0
10	SKYLIGHT
11	ROOF DRAIN WITH OVERFLOW DRAIN 2" ABOVE ROOF SURFACE
12	POOL EQUIPMENT AND CONDENSOR AREA PER ARCHITECTURAL PLAN
13	OVERFLOW DRAIN SET 2" ABOVE ROOF SURFACE (revision 1)

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REGISTERED PROFESSIONAL ENGINEER
JAMES TUCHSCHER
C77649
CIVIL
STATE OF CALIFORNIA

STAMP DATE
9/22/2020

DRAWING
DRAINAGE PLAN

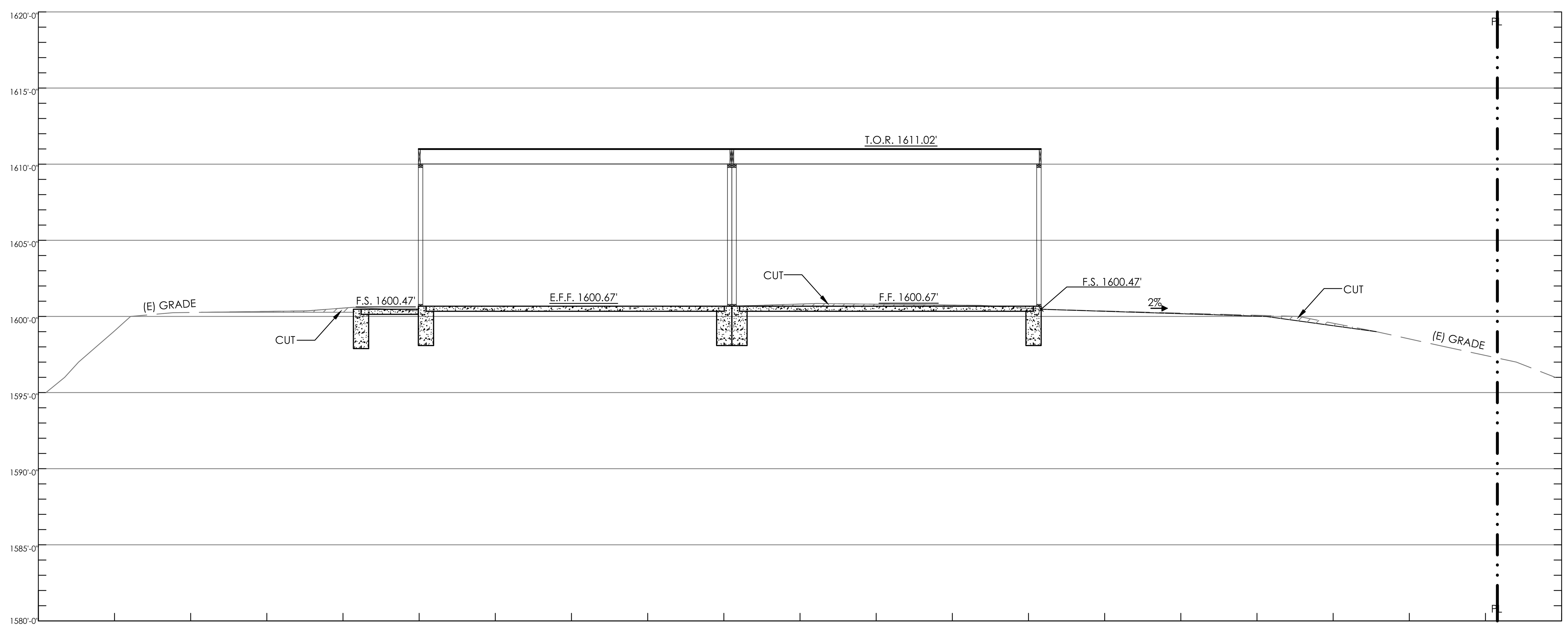
PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

REVISIONS	BY
1 9/22/2020	JB

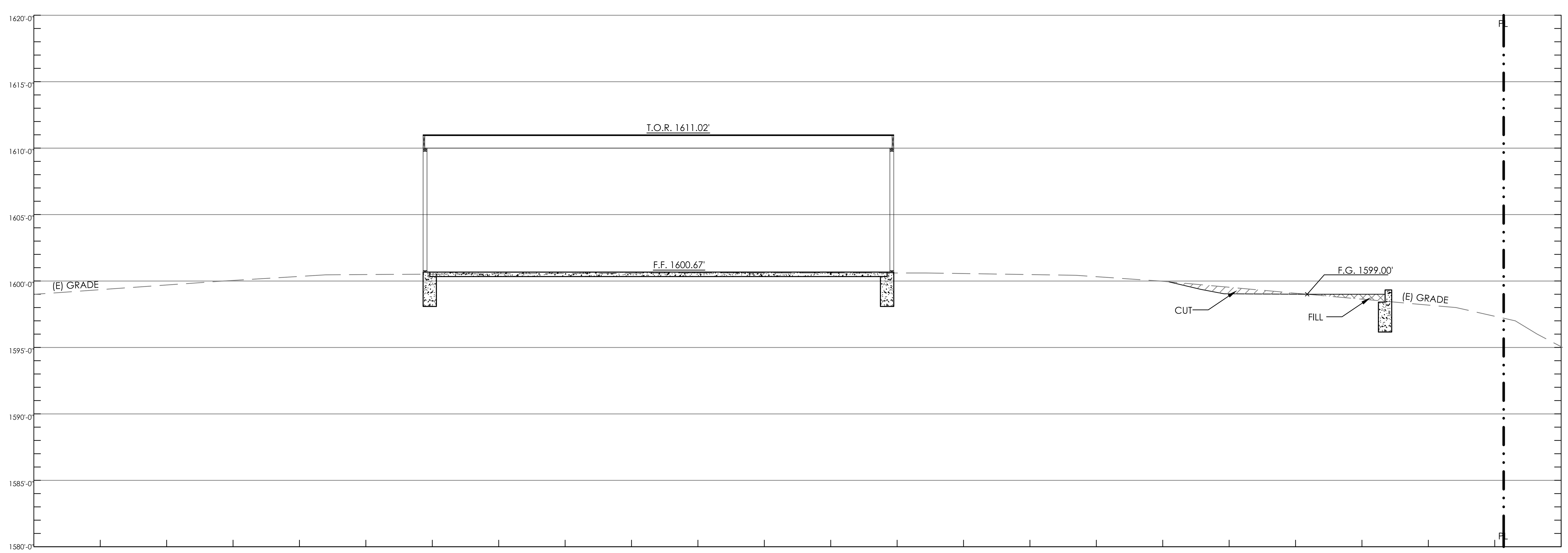
PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: 1" = 15'-0"

C-4.0

SHEET 5 OF 12



GRADING SECTION SCALE: 3/16"=1'-0" 1



GRADING SECTION SCALE: 3/16"=1'-0" 2

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STAMP DATE 9/22/2020

DRAWING
GRADING SECTIONS

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

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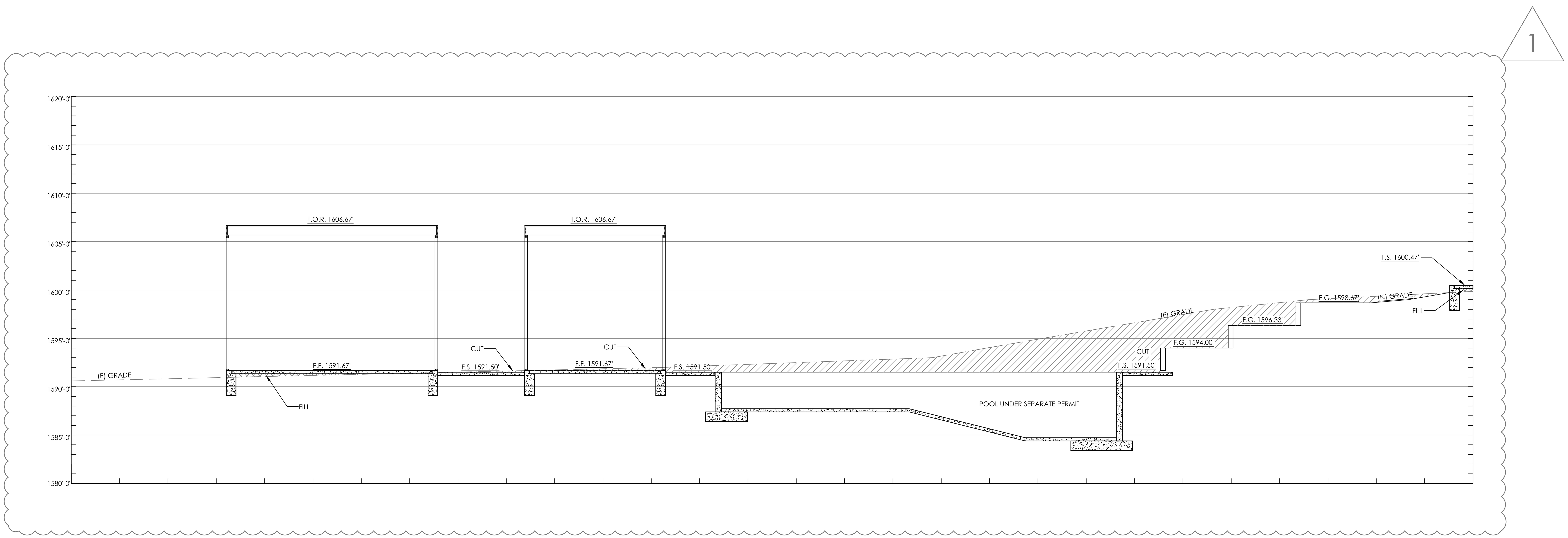
PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: 3/16" = 1'-0"

C-5.0

SHEET 6 OF 12



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DRAWING
GRADING SECTIONS

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

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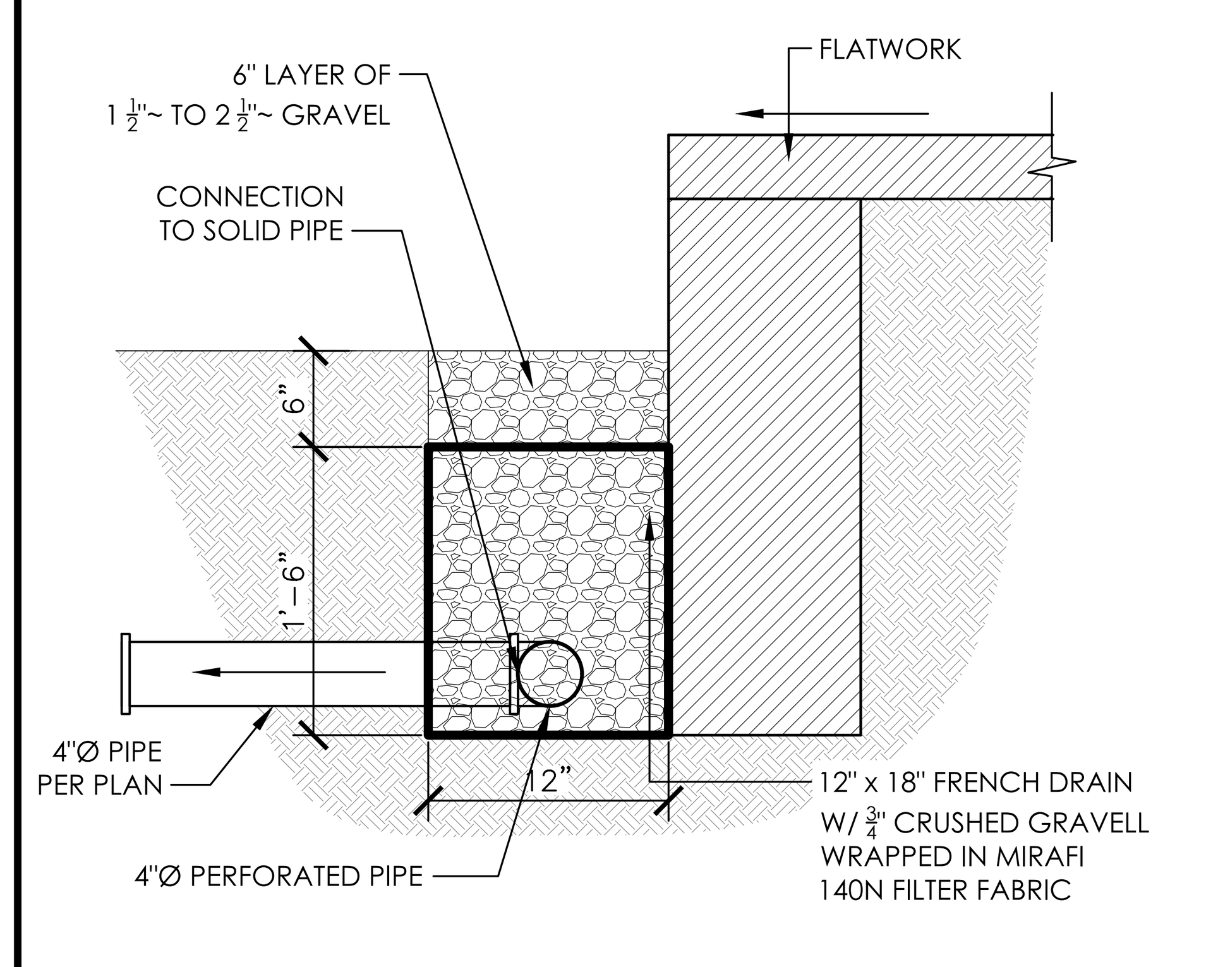
PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: 3/16" = 1'-0"

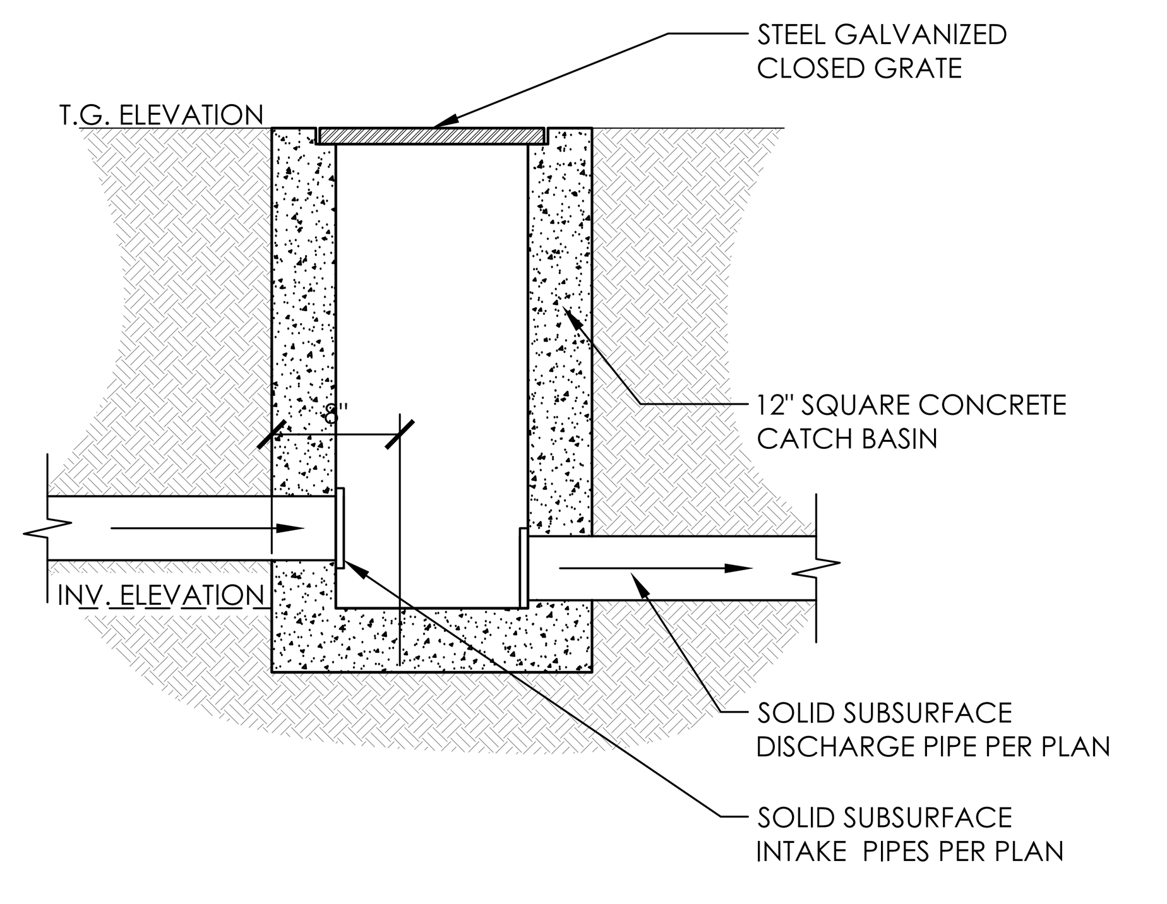
C-5.1

SHEET 7 OF 12

GRADING SECTION SCALE: 3/16"=1'-0" 3



GRAVEL INFILTRATION TRENCH | 4



CATCH BASIN AS CLEANOUT | 5

LADBS DEPARTMENT OF BUILDING AND SAFETY

INFORMATION BULLETIN / PUBLIC - BUILDING CODE
REFERENCE NO.: LABC 101.5, Item 4 Effective: 01-01-2017
DOCUMENT NO. P/BC 2017-002 Revised:
Previously Issued As: P/BC 2014-002

RETAINING OR SLOUGH WALL (4'-0" HIGH OR LESS)

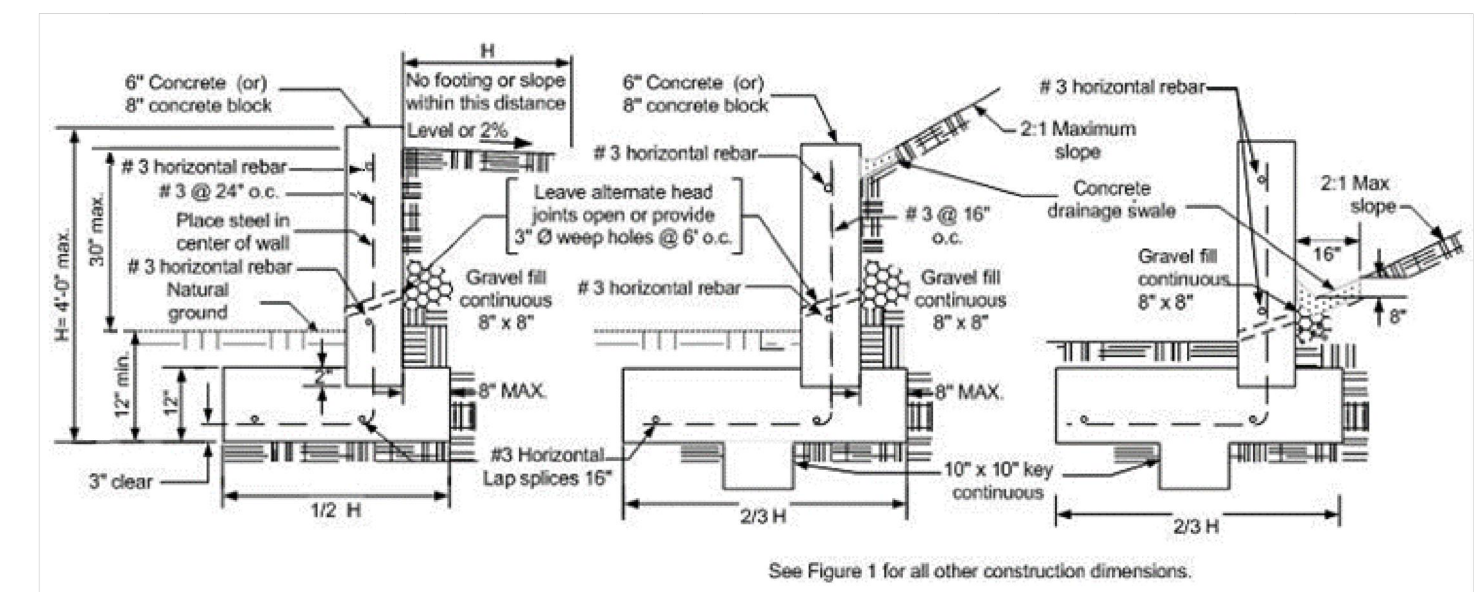
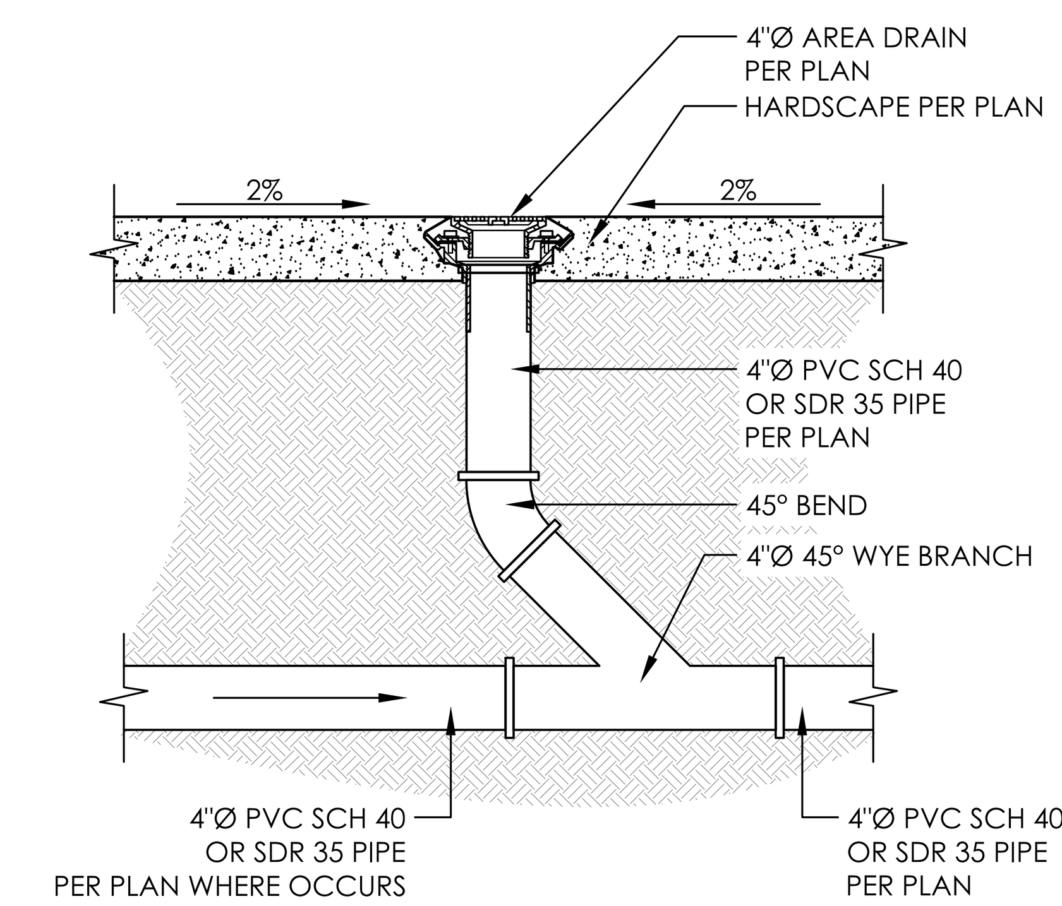


FIG. 1 **FIG. 2** **FIG. 3** (SLOUGH WALL)

(NO BUILDING PERMIT IS REQUIRED FOR FIG. 1[(1) (2)]) (PERMIT IS REQUIRED FOR FIG. 2 AND FIG. 3)

SLOUGH WALL DETAIL | 3

DRAIN STENCIL | 1



AREA DRAIN DETAIL | 2

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DRAWING
DRAINAGE DETAILS

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

REVISIONS	BY
9/22/2020	JB

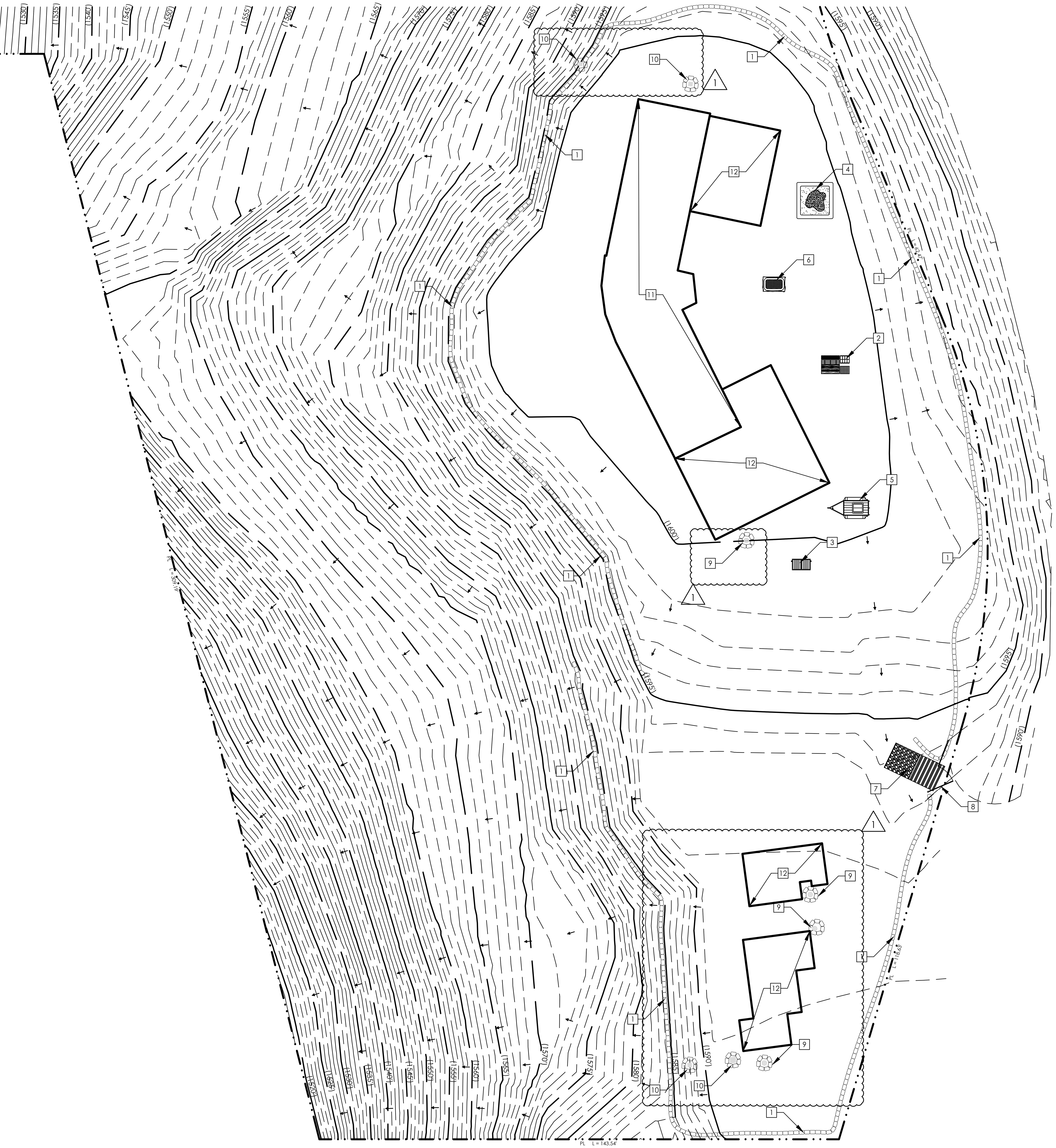
PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: 1" = 1'-0"

C-6.0

SHEET 8 OF 12

EROSION CONTROL NOTES

1. ALL CONSTRUCTION DEBRIS MUST BE CONTAINERIZED AT ALL TIMES.
2. DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
3. PLANNING CONSIDERATION: PRESERVATION OF EXISTING VEGETATION MINIMIZES THE POTENTIAL OR REMOVING OR INJURING EXISTING TREES, VINES, SHRUBS, AND/OR GRASSES THAT SERVE AS EROSION CONTROLS.



EROSION CONTROL PLAN LEGEND

- SE-8 SANDBAG BARRIER
- WM-1 MATERIAL DELIVERY AND STORAGE
- WM-5 SOLID WASTE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT
- SC-11 PAINT AND CHEMICAL STORAGE WITH SPILL CONTROL AND SPILL CLEANUP EQUIPMENT.
- TC-1 STABILIZED CONSTRUCTION ENTRANCE
- CONSTRUCTION GATE

CONSTRUCTION NOTES

1	SE-8 SANDBAG
2	WM-1 MATERIAL DELIVERY AND STORAGE
3	WM-5 SOLID WASTE MANAGEMENT
4	WM-8 CONCRETE WASTE MANAGEMENT
5	WM-9 SANITARY WASTE MANAGEMENT
6	SC-11 PAINT AND CHEMICAL STORAGE WITH SPILL CONTROL AND SPILL CLEANUP EQUIPMENT
7	TC-1 STABILIZER PLATE CONSTRUCTION ENTRANCE
8	CONSTRUCTION GATE
9	AREA DRAINS WITH SC-11 INLET PROTECTION
10	CATCH BASIN WITH SC-11 INLET PROTECTION
11	EXISTING BUILDING OUTLINE
12	PROPOSED ADDITION BUILDING OUTLINE

N

EROSION CONTROL PLAN

SCALE: 1" = 15' - 0" | 1

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JAMES TUCHSCHER
CIVIL
STATE OF CALIFORNIA

STAMP DATE
9/22/2020

DRAWING
EROSION CONTROL AND STORMWATER POLLUTION PREVENTION PLAN

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

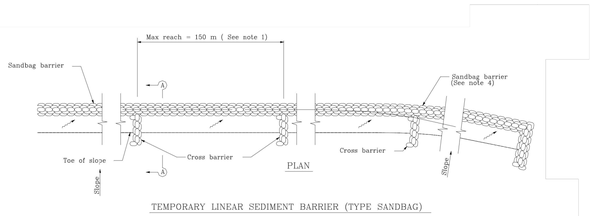
REVISIONS	BY
1 9/22/2020	JB

PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: 1" = 15'-0"

EC-1.0

SHEET 9 OF 12

Sandbag Barrier



TEMPORARY LINEAR SEDIMENT BARRIER (TYPE SANDBAG)

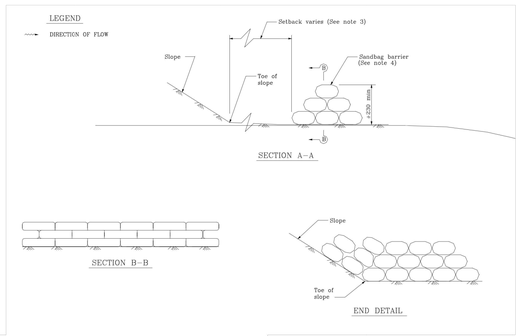
STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION
TEMPORARY LINEAR SEDIMENT BARRIER
(TYPE SANDBAG)
NO SCALE
ALL DIMENSIONS ARE IN
MILLIMETERS UNLESS OTHERWISE SHOWN

NOTES

1. Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/2 the height of the linear barrier. In no case shall the reach length exceed 150 m.
2. Place sandbags tightly.
3. Dimension may vary to fit field condition.
4. Sandbag barrier shall be a minimum of 3 bags high.
5. The end of the barrier shall be turned up slope.
6. Cross barriers shall be a min of 1/2 and a max of 2/3 the height of the linear barrier.
7. Sandbag rows and layers shall be staggered to eliminate gaps.

SC-8

Sandbag Barrier

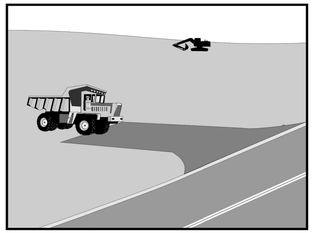


STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION
TEMPORARY LINEAR SEDIMENT BARRIER
(TYPE SANDBAG)
NO SCALE
ALL DIMENSIONS ARE IN
MILLIMETERS UNLESS OTHERWISE SHOWN

SC-8

SC-8 SAND BAG DETAILS | 1

Stabilized Construction Entrance/Exit TC-1



Categories

EC	Erosion Control	☒
SE	Sediment Control	☒
TC	Tracking Control	☑
WE	Wind Erosion Control	
NS	Non-Stormwater Management Control	
WM	Waste Management and Materials Pollution Control	

Legend:
☑ **Primary Objective**
☒ **Secondary Objective**

Targeted Constituents

Sediment	☑
Nutrients	
Trash	
Metals	
Bacteria	
Oil and Grease	
Organics	

Potential Alternatives

None

If User/Subscriber modifies this fact sheet in any way, the CASQA name/logo and footer below must be removed from each page and not appear on the modified version.

Description and Purpose

A stabilized construction access is defined by a point of entrance/exit to a construction site that is stabilized to reduce the tracking of mud and dirt onto public roads by construction vehicles.

Suitable Applications

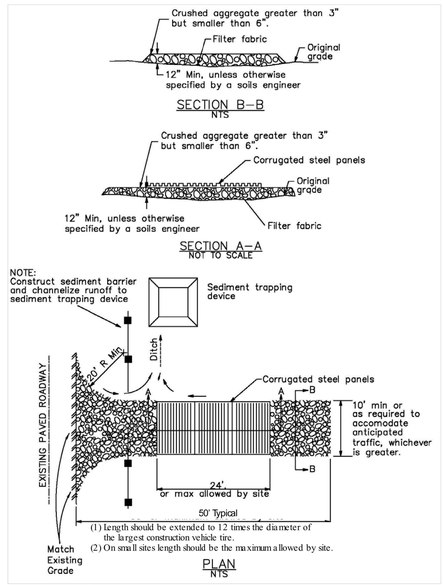
Use at construction sites:

- Where dirt or mud can be tracked onto public roads.
- Adjacent to water bodies.
- Where poor soils are encountered.
- Where dust is a problem during dry weather conditions.

Limitations

- Entrances and exits require periodic top dressing with additional stones.
- This BMP should be used in conjunction with street sweeping on adjacent public right of way.
- Entrances and exits should be constructed on level ground only.
- Stabilized construction entrances are rather expensive to construct and when a wash rack is included, a sediment trap of some kind must also be provided to collect wash water runoff.

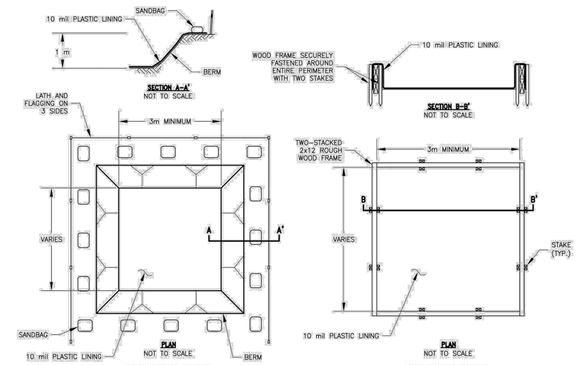
Stabilized Construction Entrance/Exit TC-1



BMP NOTES AND DETAILS | 2

Concrete Waste Management

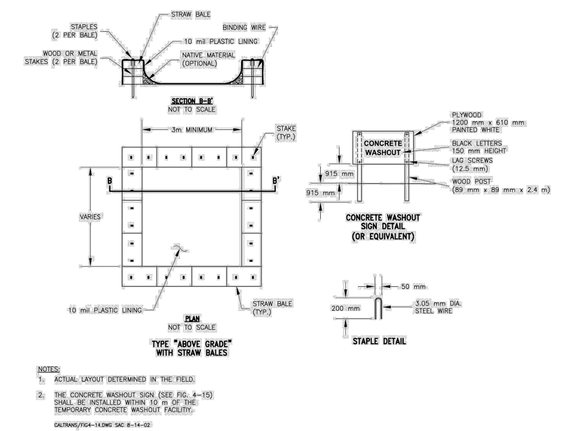
WM-8



NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. THE CONCRETE WASHOUT SIGN (SEE PAGE 6) SHALL BE INSTALLED WITHIN 10 m OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

Concrete Waste Management

WM-8



NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. THE CONCRETE WASHOUT SIGN (SEE FIG. 4–15) SHALL BE INSTALLED WITHIN 10 m OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

CALTRANS/TC4-14.DWG SAC 8-14-02

WM-8 CONCRETE WASTE MANAGEMENT DETAILS | 3

TUCHSCHER ENGINEERING GROUP, INC.
115 Pine Ave, Suite 210
Long Beach, CA 90802
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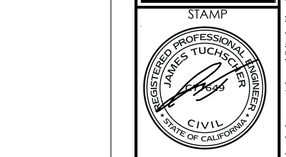
TEG TUCHSCHER ENGINEERING GROUP

STAMP



STAMP DATE
9/22/2020

DRAWING
EROSION CONTROL DETAILS

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

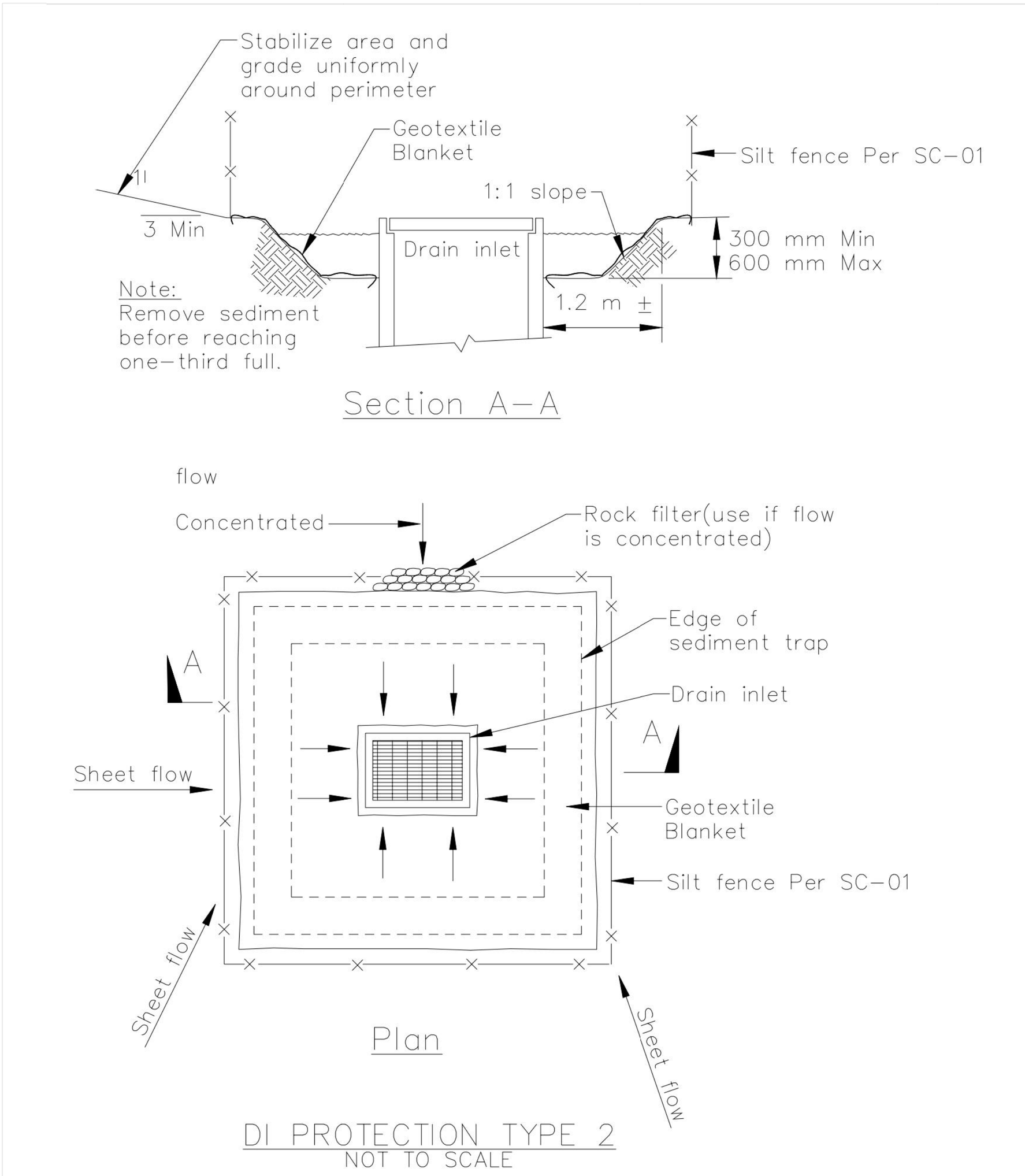
REVISIONS	BY
1 9/22/2020	JB
2	
3	
4	
5	

PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: N/A

EC-2.0

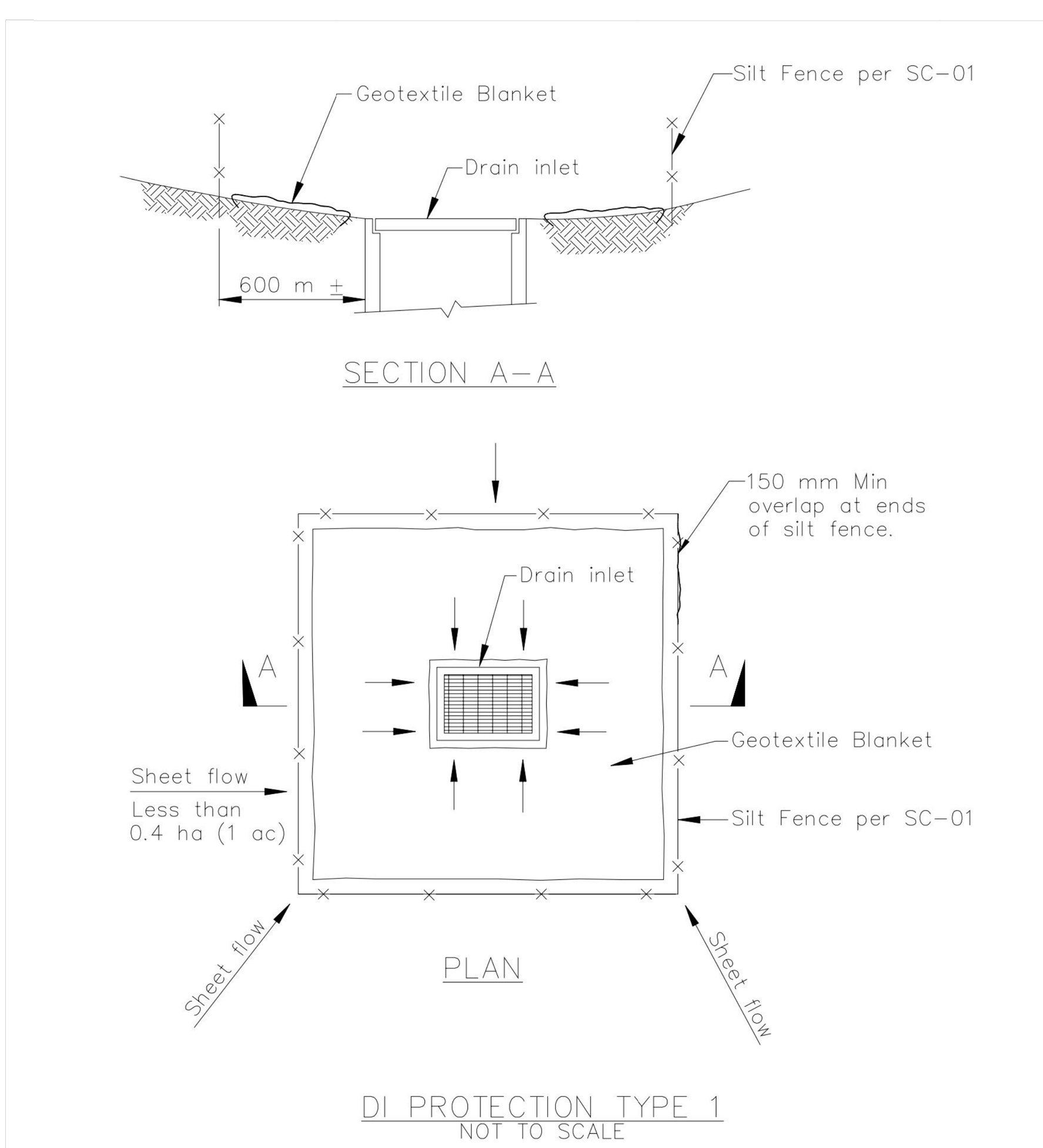
SHEET 10 OF 12

Storm Drain Inlet Protection SC-10



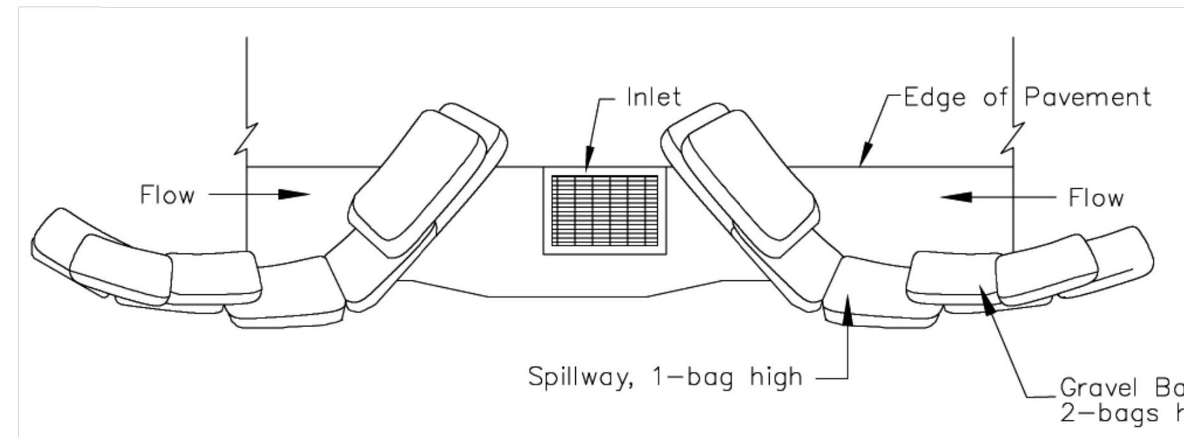
Notes
1. For use in cleared and grubbed and in graded areas.
2. Shape basin so that longest inflow area faces longest length of trap.
3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

Storm Drain Inlet Protection SC-10

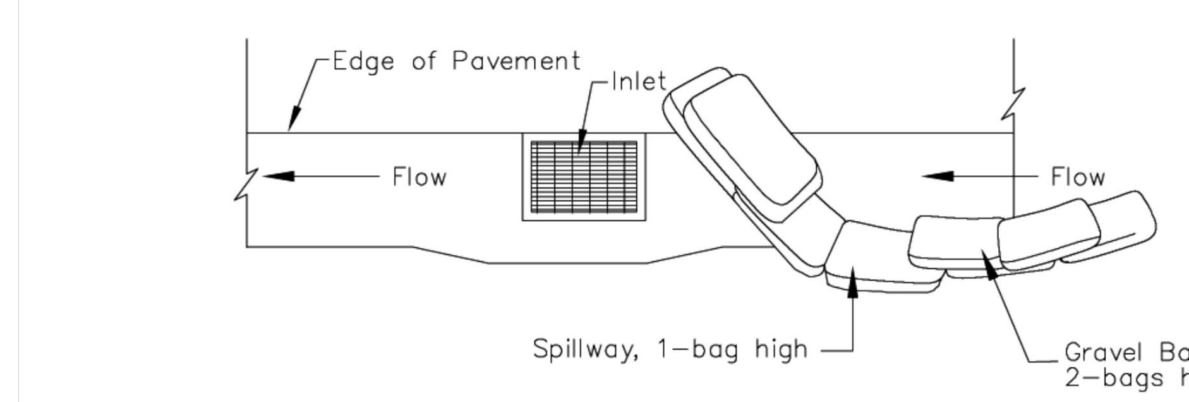


NOTES:
1. For use in areas where grading has been completed and final soil stabilization and seeding are pending.
2. Not applicable in paved areas.
3. Not applicable with concentrated flows.

Storm Drain Inlet Protection SC-10



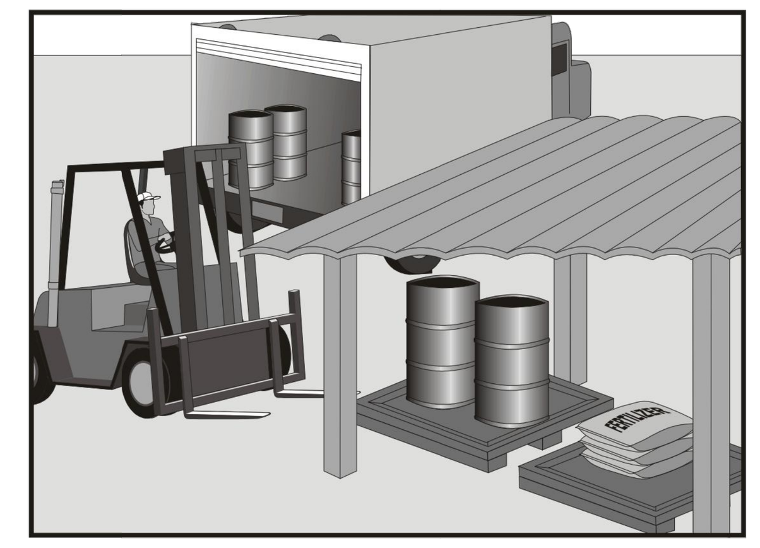
TYPICAL PROTECTION FOR INLET WITH OPPOSING FLOW DIRECTIONS

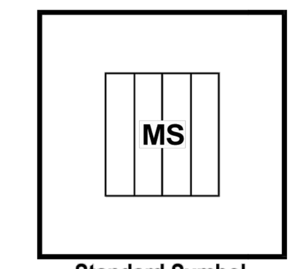


TYPICAL PROTECTION FOR INLET WITH SINGLE FLOW DIRECTION

NOTES:
1. Intended for short-term use.
2. Use to inhibit non-storm water flow.
3. Allow for proper maintenance and cleanup.
4. Bags must be removed after adjacent operation is completed
5. Not applicable in areas with high silts and clays without filter fabric.

Material Delivery and Storage WM-1





Standard Symbol

BMP Objectives
- ○ Soil Stabilization
- ○ Sediment Control
- ○ Tracking Control
- ○ Wind Erosion Control
- ● Non-Storm Water Management
- ● Materials and Waste Management

Definition and Purpose Procedures and practices for the proper handling and storage of materials in a manner that minimizes or eliminates the discharge of these materials to the storm drain system or to watercourses.

Appropriate Applications These procedures are implemented at all construction sites with delivery and storage of the following:

- Hazardous chemicals such as:
  - Acids,
  - lime,
  - glues,
  - adhesives,
  - paints,
  - solvents, and
  - curing compounds.
- Soil stabilizers and binders.
- Fertilizers.
- Detergents.
- Plaster.
- Petroleum products such as fuel, oil, and grease.
- Asphalt and concrete components.
- Pesticides and herbicides.

Material Delivery and Storage WM-1

- Other materials that may be detrimental if released to the environment.

Limitations
- Space limitation may preclude indoor storage.
- Storage sheds must meet building & fire code requirements.

Standards and Specifications

General
- Train employees and subcontractors on the proper material delivery and storage practices.
- Temporary storage area shall be located away from vehicular traffic.
- Material Safety Data Sheets (MSDS) shall be supplied to the Resident Engineer (RE) for all materials stored.

Material Storage Areas and Practices
- Liquids, petroleum products, and substances listed in 40 CFR Parts 110, 117, or 302 shall be stored in approved containers and drums and shall be placed in temporary containment facilities for storage.
- Throughout the rainy season, each temporary containment facility shall have a permanent cover and side wind protection or be covered during non-working days and prior to and during rain events.
- A temporary containment facility shall provide for a spill containment volume able to contain precipitation from a 24-hour, 25-year storm event, plus the greater of 10% of the aggregate volume of all containers or 100% of the capacity of the largest container within its boundary, whichever is greater.
- A temporary containment facility shall be impervious to the materials stored therein for a minimum contact time of 72 hours.
- A temporary containment facility shall be maintained free of accumulated rainwater and spills. In the event of spills or leaks, accumulated rainwater and spills shall be collected and placed into drums. These liquids shall be handled as a hazardous waste unless testing determines them to be non-hazardous. All collected liquids or non-hazardous liquids shall be sent to an approved disposal site.
- Sufficient separation shall be provided between stored containers to allow for spill cleanup and emergency response access.
- Incompatible materials, such as chlorine and ammonia, shall not be stored in the same temporary containment facility.
- Materials shall be stored in their original containers and the original product labels shall be maintained in place in a legible condition. Damaged or otherwise illegible labels shall be replaced immediately.

Material Delivery and Storage WM-1

-
- Bagged and boxed materials shall be stored on pallets and shall not be allowed to accumulate on the ground. To provide protection from wind and rain, throughout the rainy season, bagged and boxed materials shall be covered during non-working days and prior to rain events.
- Stockpiles shall be protected in accordance with BMP WM-3, "Stockpile Management."
- Minimize the material inventory stored on-site (e.g., only a few days supply).
- Have proper storage instructions posted at all times in an open and conspicuous location.
- Do not store hazardous chemicals, drums, or bagged materials directly on the ground. Place these items on a pallet and when possible, under cover in secondary containment.
- Keep hazardous chemicals well labeled and in their original containers.
- Keep ample supply of appropriate spill clean up material near storage areas.
- Also see BMP WM-6, "Hazardous Waste Management", for storing of hazardous materials.

Material Delivery Practices
- Keep an accurate, up-to-date inventory of material delivered and stored on-site.
- Employees trained in emergency spill clean-up procedures shall be present when dangerous materials or liquid chemicals are unloaded.

Spill Clean-up
- Contain and clean up any spill immediately.
- If significant residual materials remain on the ground after construction is complete, properly remove and dispose any hazardous materials or contaminated soil.
- See BMP WM-4, "Spill Prevention and Control", for spills of chemicals and/or hazardous materials.

SC-10 INLET PROTECTION CONTROL | 4

WM-1 MATERIAL DELIVERY AND STORAGE DETAILS | 5

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TEG TUCHSCHER ENGINEERING GROUP

STAMP

REGISTERED PROFESSIONAL ENGINEER JAMES TUCHSCHER C 77639 CIVIL STATE OF CALIFORNIA

STAMP DATE 9/22/2020

DRAWING
EROSION CONTROL DETAILS

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

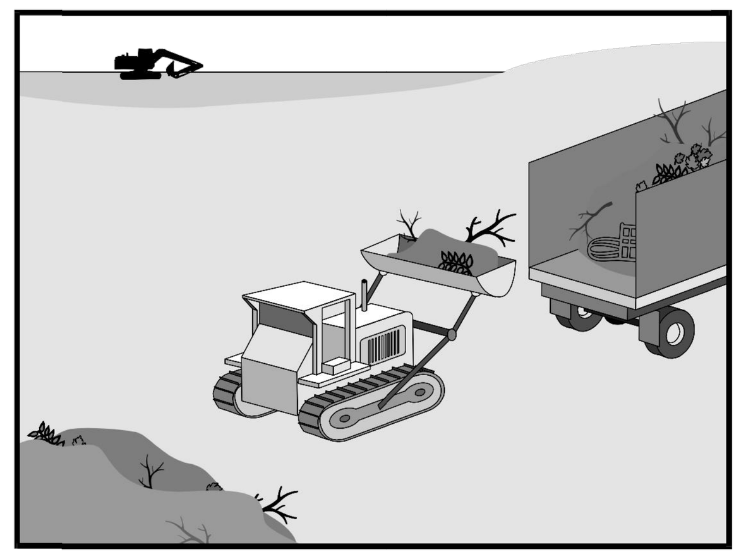
REVISIONS	BY
9/22/2020	JB

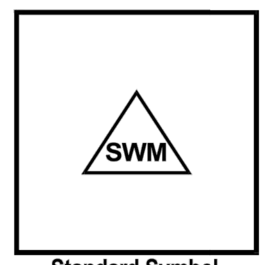
PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: N/A

EC-3.0

SHEET 11 OF 12

Solid Waste Management **WM-5**





Standard Symbol

BMP Objectives

- ○ Soil Stabilization
- ○ Sediment Control
- ○ Tracking Control
- ○ Wind Erosion Control
- ● Non-Storm Water Management
- ● Materials and Waste Management

Definition and Purpose Solid waste management procedures and practices are designed to minimize or eliminate the discharge of pollutants to the drainage system or to watercourses as a result of the creation, stockpiling, or removal of construction site wastes.

Appropriate Applications Solid waste management procedures and practices are implemented on all construction projects that generate solid wastes.

Solid wastes include but are not limited to:

- Construction wastes including brick, mortar, timber, steel and metal scraps, sawdust, pipe and electrical cuttings, non-hazardous equipment parts, styrofoam and other materials used to transport and package construction materials.
- Highway planting wastes, including vegetative material, plant containers, and packaging materials.
- Litter, including food containers, beverage cans, coffee cups, paper bags, plastic wrappers, and smoking materials, including litter generated by the public.

Limitations

- Temporary stockpiling of certain construction wastes may not necessitate stringent drainage related controls during the non-rainy season or in desert areas with low rainfall.

Solid Waste Management **WM-5**

Standards and Specifications

Education

- The Contractor's Water Pollution Control Manager (WPCM) shall oversee and enforce proper solid waste procedures and practices.
- Instruct employees and subcontractors on identification of solid waste and hazardous waste.
- Educate employees and subcontractors on solid waste storage and disposal procedures.
- Hold regular meetings to discuss and reinforce disposal procedures (incorporate into regular safety meetings).
- Require that employees and subcontractors follow solid waste handling and storage procedures.
- Prohibit littering by employees, subcontractors, and visitors.
- Wherever possible, minimize production of solid waste materials.

Collection, Storage, and Disposal

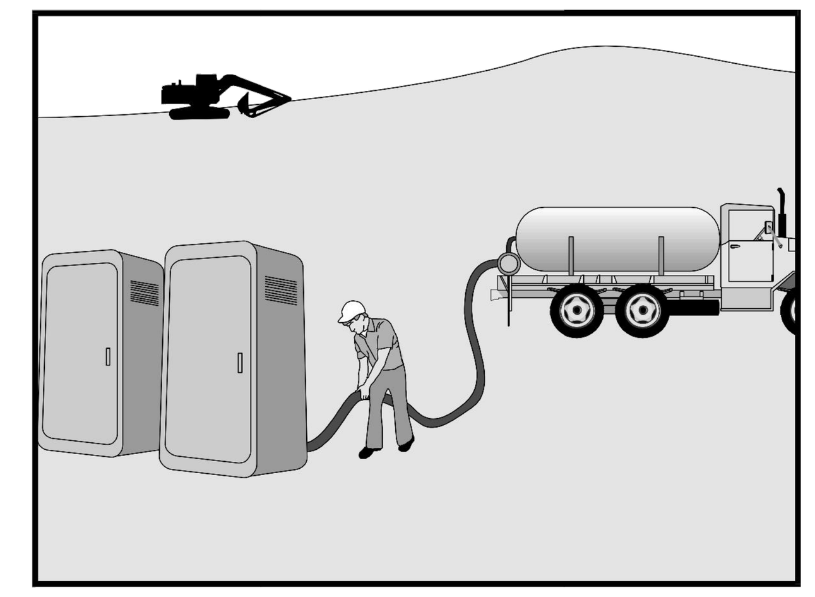
- Dumpsters of sufficient size and number shall be provided to contain the solid waste generated by the project and properly serviced.
- Littering on the project site shall be prohibited.
- To prevent clogging of the storm drainage system litter and debris removal from drainage grates, trash racks, and ditch lines shall be a priority.
- Trash receptacles shall be provided in the Contractor's yard, field trailer areas, and at locations where workers congregate for lunch and break periods.
- Construction debris and litter from work areas within the construction limits of the project site shall be collected and placed in watertight dumpsters at least weekly regardless of whether the litter was generated by the Contractor, the public, or others. Collected litter and debris shall not be placed in or next to drain inlets, storm water drainage systems or watercourses.
- Full dumpsters shall be removed from the project site and the contents shall be disposed of outside the highway right-of-way in conformance with the provisions in the Standard Specifications Section 7-1.13.
- Litter stored in collection areas and containers shall be handled and disposed of by trash hauling contractors.
- Construction debris and waste shall be removed from the site every two weeks or as directed by the RE.

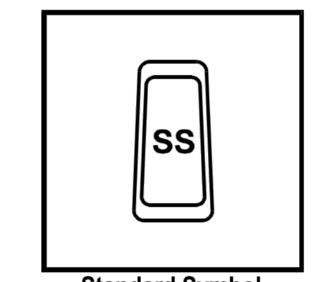
Solid Waste Management **WM-5**

- Construction material visible to the public shall be stored or stacked in an orderly manner to the satisfaction of the RE.
- Storm water run-on shall be prevented from contacting stored solid waste through the use of berms, dikes, or other temporary diversion structures or through the use of measures to elevate waste from site surfaces.
- Solid waste storage areas shall be located at least 15 m (50 ft) from drainage facilities and watercourses and shall not be located in areas prone to flooding or ponding.
- Except during fair weather, construction and highway planting waste not stored in watertight dumpsters shall be securely covered from wind and rain by covering the waste with tarps or plastic sheeting or protected in conformance with the applicable Disturbed Soil Area protection section.
- Dumpster washout on the project site is not allowed.
- Notify trash hauling contractors that only watertight dumpsters are acceptable for use on-site.
- Plan for additional containers during the demolition phase of construction.
- Plan for more frequent pickup during the demolition phase of construction.
- Construction waste shall be stored in a designated area approved by the RE.
- Segregate potentially hazardous waste from non-hazardous construction site waste.
- Keep the site clean of litter debris.
- Make sure that toxic liquid wastes (e.g., used oils, solvents, and paints) and chemicals (e.g., acids, pesticides, additives, curing compounds) are not disposed of in dumpsters designated for construction debris.
- Dispose of non-hazardous waste in accordance with Standard Specification 7-1.13, Disposal of Material Outside the Highway Right of Way.
- For disposal of hazardous waste, see BMP WM-6, "Hazardous Waste Management." Have hazardous waste hauled to an appropriate disposal and/or recycling facility.
- Salvage or recycle useful vegetation debris, packaging and/or surplus building materials when practical. For example, trees and shrubs from land clearing can be converted into wood chips, then used as mulch on graded areas. Wood pallets, cardboard boxes, and construction scraps can also be recycled.

WM-5 SOLID WASTE MANAGEMENT | 6

Sanitary/Septic Waste Management **WM-9**





Standard Symbol

BMP Objectives

- ○ Soil Stabilization
- ○ Sediment Control
- ○ Tracking Control
- ○ Wind Erosion Control
- ● Non-Storm Water Management
- ● Materials and Waste Management

Definition and Purpose Procedures and practices to minimize or eliminate the discharge of construction site sanitary/septic waste materials to the storm drain system or to watercourses.

Appropriate Applications Sanitary/septic waste management practices are implemented on all construction sites that use temporary or portable sanitary/septic waste systems.

Limitations

- None identified.

Standards and Specifications

Education

- Educate employees, subcontractors, and suppliers on sanitary/septic waste storage and disposal procedures.
- Educate employees, subcontractors, and suppliers of potential dangers to humans and the environment from sanitary/septic wastes.
- Instruct employees, subcontractors, and suppliers in identification of sanitary/septic waste.
- Hold regular meetings to discuss and reinforce disposal procedures (incorporate into regular safety meetings).
- Establish a continuing education program to indoctrinate new employees.

Storage and Disposal Procedures

- Temporary sanitary facilities shall be located away from drainage facilities, watercourses, and from traffic circulation. When subjected to high winds or risk.

Sanitary/Septic Waste Management **WM-9**

- Wastewater shall not be discharged or buried within the highway right-of-way.
- Sanitary and septic systems that discharge directly into sanitary sewer systems, where permissible, shall comply with the local health agency, city, county, and sewer district requirements.
- If using an on site disposal system, such as a septic system, comply with local health agency requirements.
- Properly connect temporary sanitary facilities that discharge to the sanitary sewer system to avoid illicit discharges.
- Ensure that sanitary/septic facilities are maintained in good working order by a licensed service.
- Use only reputable, licensed sanitary/septic waste haulers.

Maintenance and Inspection

- The Contractor's Water Pollution Control Manager (WPCM) shall monitor onsite sanitary/septic waste storage and disposal procedures at least weekly.

WM-9 SANITARY WASTE MANAGEMENT | 7

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Long Beach, CA 90802
310.613.9980
www.TEGLosAngeles.com

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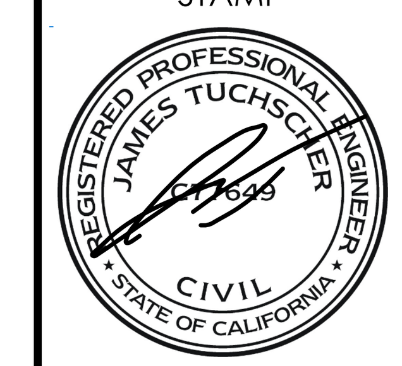
STAMP



STAMP DATE
9/22/2020

DRAWING
EROSION CONTROL DETAILS

PROJECT
HERZIG-GOLD RESIDENCE
3045 TUNA CANYON ROAD
TOPANGA CANYON, CA 90290

REVISIONS	BY
△ 9/22/2020	JB
△	
△	
△	
△	

PROJECT #: 7-19-1733
DATE: 9/22/2020
SCALE: N/A

EC-4.0

SHEET 12 OF 12

ENHANCED SYSTEM

Requires installation inspection by Environmental Health prior to final approval.

Address: 3045 Tuna Canyon Road
Topanga, 90290
SR: 0218243
APN: 4448-007-067

Bedrooms: 5 bedroom + pool house
Septic Tank: MicroSeptec ES-12
300 gallon pump station
Present: (2) 6' x 42' BI w/ 5' cap (BA2, BA3)
Future: (2)6' x 42' BI w/ 5' cap (BA4, BA5)
Perc Rate: 9,678 gallons/day (BA2)
6,609 gallons/day (BA3)
7,500 gallons/day (BA4)
7,068 gallons/day (BA5)

Groundwater: 57.5 feet not observed

The Department of Public Health, Division of Environmental Health, has reviewed this project and determined that the proposed onsite wastewater treatment system is feasible and meets the minimum requirements for the proposed residence.

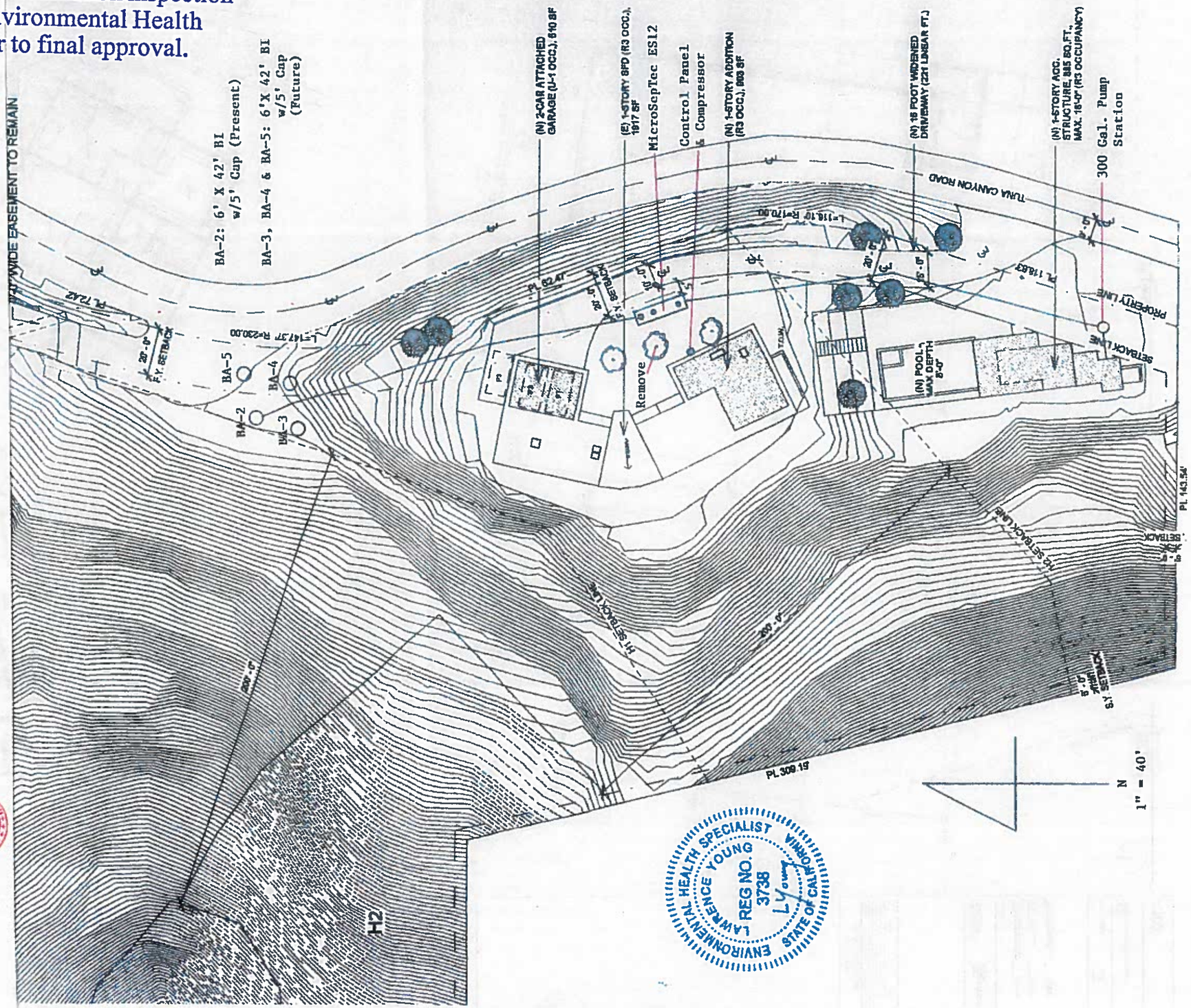
This approval is for installation of a new onsite wastewater treatment system (OWTS), a swimming pool and a pool house/guest house.

1. Maintain all required setbacks per table H-101.8 of the L.A County Plumbing Code.
2. This approval does not imply that existing structures on the property are approved.
3. The existing septic system (septic tank and leach lines) will be abandoned in accordance with L.A. County Plumbing Code.
4. The seepage pits shall have an 8" inspection risers from cap to grade.
5. Call the Health Department prior to backfilling the septic tank.
6. Any deviation from this sewage disposal plot plan without prior Public Health Department approval will render this approval null and void.

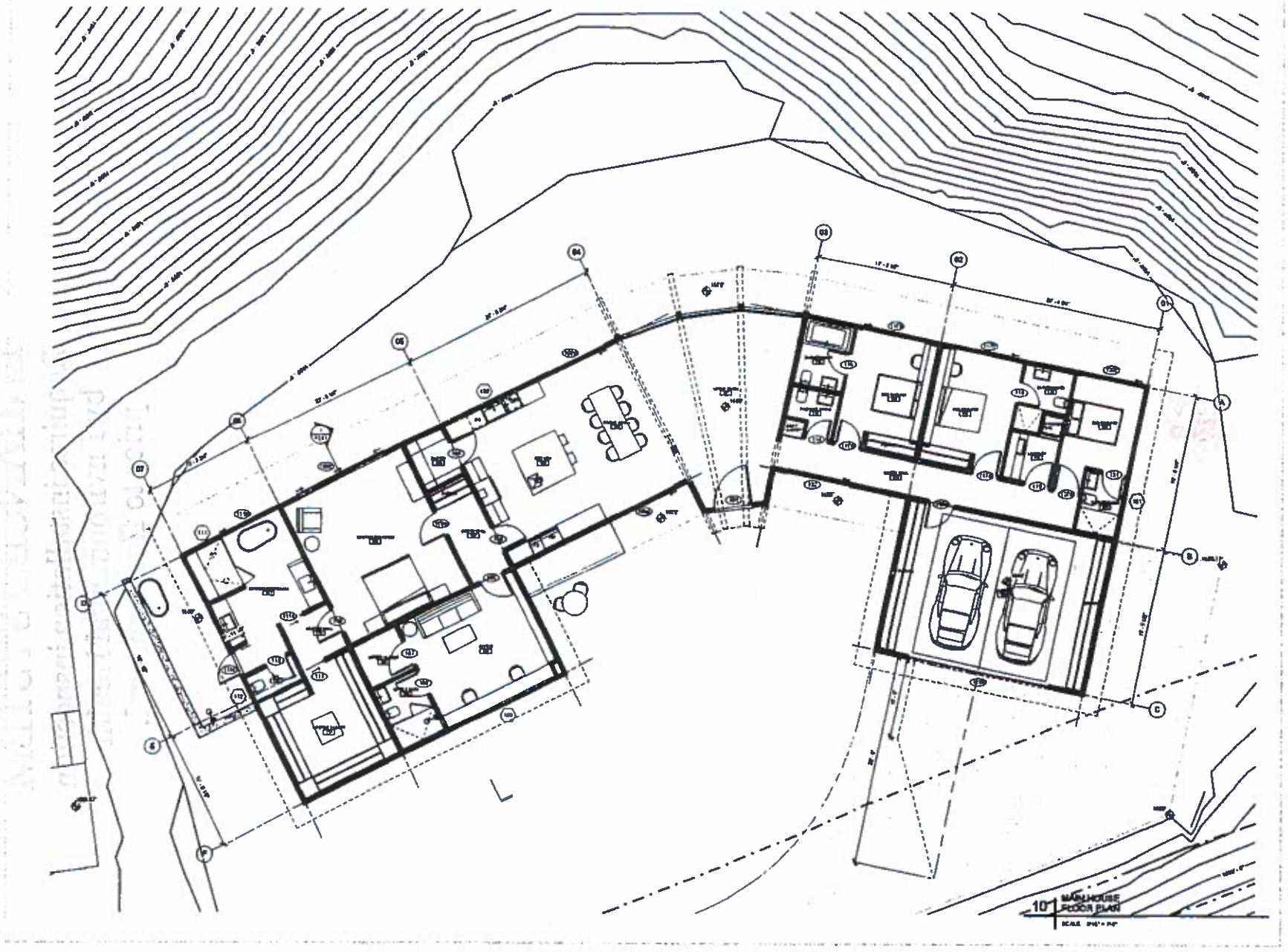
V. Aranda 05-04-2020

Los Angeles County Department of Public Health

THIS APPROVAL IS VALID FOR ONE YEAR



ENVIRONMENTAL HEALTH SPECIALIST
LAWRENCE YOUNG
REG NO. 3738
STATE OF CALIFORNIA



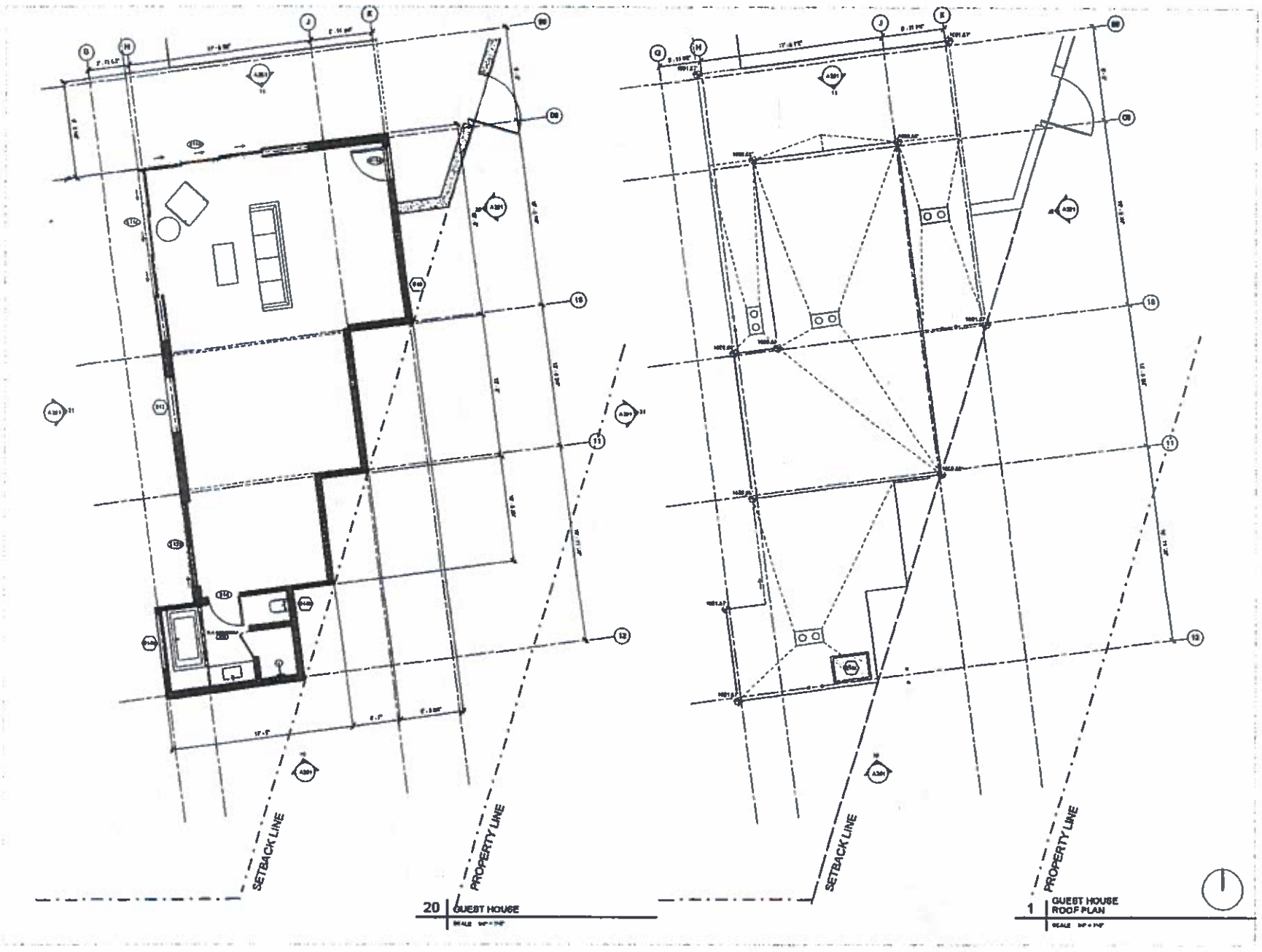
NOT FOR CONSTRUCTION

HERZOG GOLD

JAN. 13, 2020

MAIN HOUSE FLOOR PLAN

A101



NOT FOR CONSTRUCTION

HERZOG GOLD

JAN. 13, 2020

GUEST HOUSE FLOOR PLANS

A102

3045 TUNA CANYON ROAD.

TOPANGA, CALIFORNIA 90290

LEGAL DESCRIPTION

SITE ADDRESS:	3045 TUNA CANYON RD.
ZIP CODE:	90290
LOT :	67
TRACT:	800506
PARCEL AREA:	3.88 Acres
A.P.N. NUMBER :	4448-007-067
ZONING :	R-C-20
OCCUPANCY:	SINGLE FAMILY RESID.
CLASSIFICATION:	R-3, U-1
MAXIMUM HEIGHT:	18'-0"
PROPOSED HEIGHT:	18'-0"
CONSTRUCTION TYPE:	TYPE VB
FIRE PROTECTION	SPRINKLERED
VHFHS ZONE:	YES

CODE INFORMATION

THESE PLANS SHALL COMPLY WITH THE FOLLOWING CODES:

+ 2020 CALIFORNIA RESIDENTIAL
+ 2020 CALIFORNIA PLUMBING CODE
+ 2020 CALIFORNIA MECHANICAL CODE
+ 2020 CALIFORNIA ELECTRICAL CODE
+ 2020 CALIFORNIA TITLE-24 ENERGY CODE
* CAL/OSHA

BUILDING AREA:

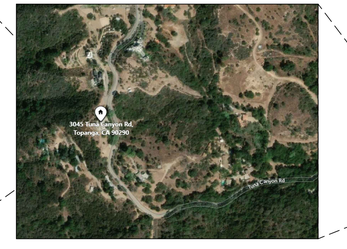
MAIN HOUSE EXISTING:	1,917 SF
MAIN HOUSE ADDITION:	1,248 SF
ACCESSORY STRUCTURE:	403 SF
ATTACHED GARAGE ADDITION:	255 SF
POOL HOUSE:	248 SF
TOTAL SF:	4,071 SF

DRAWING SHEET INDEX

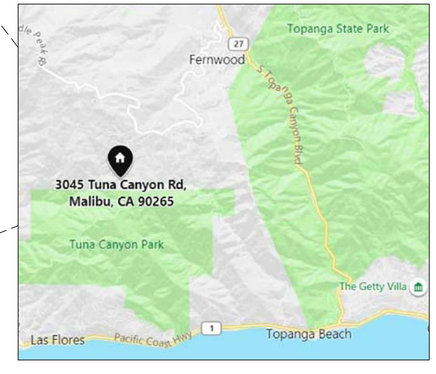
SCOPE OF WORK:
NEW WORK CONSISTS OF:
THE CONSTRUCTION OF (3) NEW 1-STORY ADDITIONS TO EXISTING SINGLE FAMILY RESIDENCE,
(N) NEW ACCESSORY STRUCTURE.
(N) POOL HOUSE
SITE WORK WILL INCLUDE A NEW POOL,
(1) NEW RETAINING WALL WITH A MAXIMUM HEIGHT OF 10'-0".

PARCEL AERIAL VIEW

PROJECT LOCATION



VICINITY MAP



TJB DESIGNS, LLC
CALABASAS, CA.
PH: 813.846.1511
TJBDRAFTING.COM

RECORD SIGNATURE:

3045 TUNA CANYON ROAD

3045 TUNA CANYON ROAD
TOPANGA, CA. 90290

PROJECT INFO: QR CODE

PLOTTED:	9/23/2020
PLOTTED BY:	LMB
11/28/19_3045 Tuna Canyon Rd	
PROJECT NO:	1908
DRAWN BY:	TJB
CHECKED BY:	XXX

RELEASE DATE: 09/23/2020

REV #	DATE / DESCRIPTION

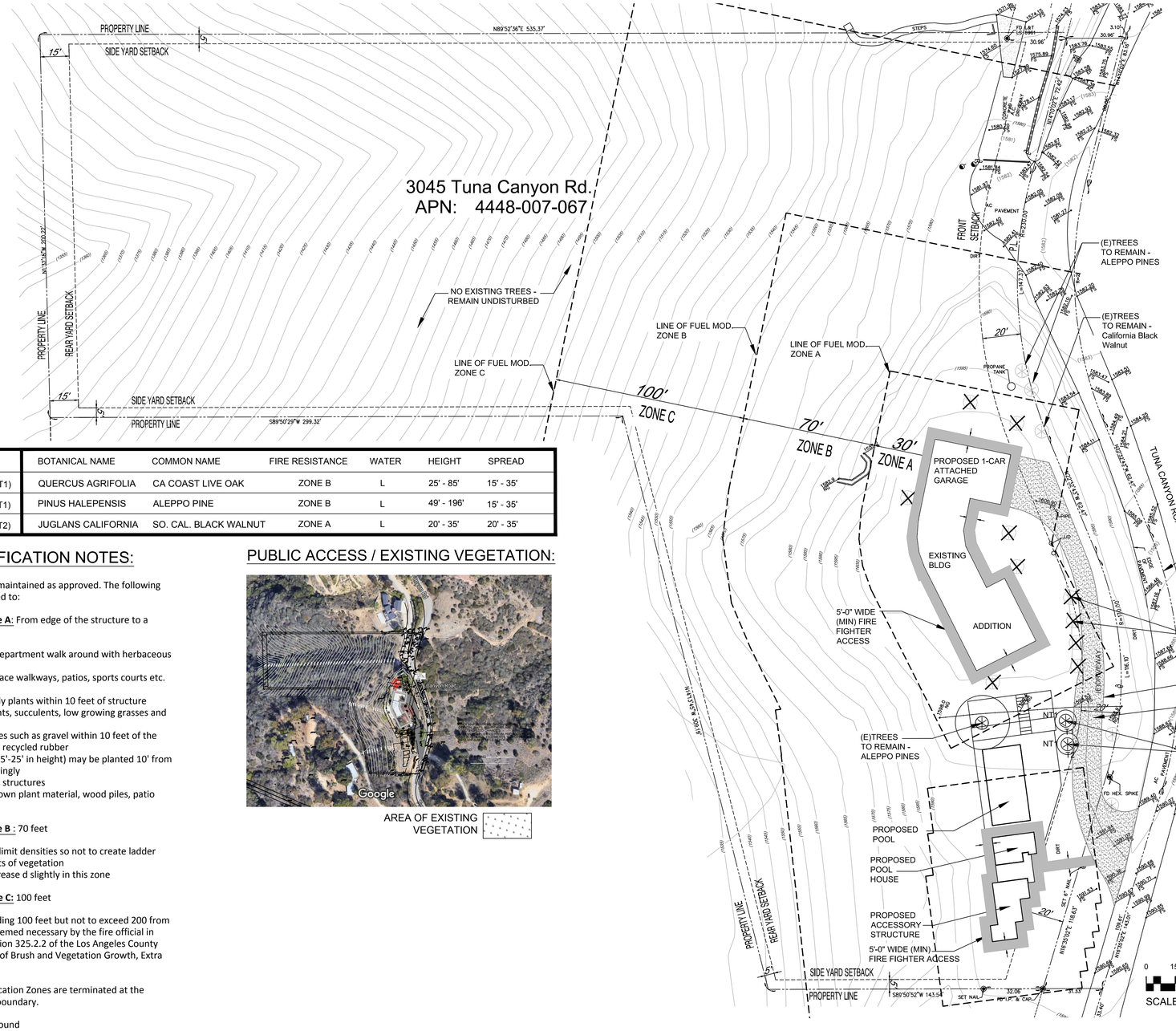
SHEET TITLE:

COVER SHEET
BUILDING DATA
FIRE

SHEET ID:

CV-1

September 23, 2020



FUEL MODIFICATION PLAN

SCALE: 1" = 30'-0"

	BOTANICAL NAME	COMMON NAME	FIRE RESISTANCE	WATER	HEIGHT	SPREAD
(NT1)	QUERCUS AGRIFOLIA	CA COAST LIVE OAK	ZONE B	L	25' - 85'	15' - 35'
(ET1)	PINUS HALEPENSIS	ALEPPO PINE	ZONE B	L	49' - 196'	15' - 35'
(ET2)	JUGLANS CALIFORNIA	SO. CAL. BLACK WALNUT	ZONE A	L	20' - 35'	20' - 35'

FUEL MODIFICATION NOTES:

Vegetation shall be maintained as approved. The following notes shall be adhered to:

Maintenance of Zone A: From edge of the structure to a distance of 30 feet .

-Provide for 5ft fire department walk around with herbaceous plants
-Recommended to place walkways, patios, sports courts etc. abutting structure
-Avoid planting woody plants within 10 feet of structure
-Use herbaceous plants, succulents, low growing grasses and grass like plants
-use inorganic mulches such as gravel within 10 feet of the structure. Do not use recycled rubber
-Small tree species (15'-25' in height) may be planted 10' from structure if used sparingly
-no climbing vines on structures
-Remove dead and down plant material, wood piles, patio furniture, etc.

Maintenance of Zone B : 70 feet

- Arrange plants and limit densities so not to create ladder fuels or dense thickets of vegetation
-Densities can be increase d slightly in this zone

Maintenance of Zone C: 100 feet

-Maintenance exceeding 100 feet but not to exceed 200 from structures may be deemed necessary by the fire official in accordance with section 325.2.2 of the Los Angeles County Fire Code (Clearance of Brush and Vegetation Growth, Extra Hazard*)

Note: All Fuel Modification Zones are terminated at the subject parcel/tract boundary.

Maintenance: Year round

-Clear all leaves, litter and debris from rain gutters, roofs and accumulations against structures
-Regularly remove all dead vegetation, flammable debris, flammable patio furniture from landscape
-Store wood piles, compost bins, mulch bins, etc. 30' from structures
-Cut and remove annual grasses down to 4 inches
-Irrigation of any form shall be applied to maintain high fuel moisture. Irrigation to native plants is beneficial in small amounts 1-2 times per month during summer months

PUBLIC ACCESS / EXISTING VEGETATION:

AREA OF EXISTING VEGETATION

BUILDING AREA:

MAIN HOUSE EXISTING:	1,917 SF
MAIN HOUSE ADDITION:	1,248 SF
ACCESSORY STRUCTURE:	403 SF
ATTACHED GARAGE ADDITION:	255 SF
POOL HOUSE:	248 SF

LEGEND:

EDGE OF PAVING

EXISTING MAJOR CONTOUR

FUEL MODIFICATION LINE

(E) TREE

(N) TREE

(E) TREE TO BE REMOVED

FIRE ACCESS LEGEND:

MIN. 20'-0" WIDE FIRE DEPARTMENT VEHICULAR ACCESS 'CLEAR TO SKY' (10% MAX SLOPE)

MIN. 5'-0" FIREFIGHTER WALKWAY ACCESS (<10% SLOPE)

MIN. 20'-0" WIDE FIRE ACCESS - RIGHT OF WAY

4" GraniteCrete: Commercial 3 bag ,ix Compacted 88%-92%

Baserock - Compacted to 95% for nonpermeable Compacted to 88% to 92% for permeable.

Subgrade: Compacted to 95%

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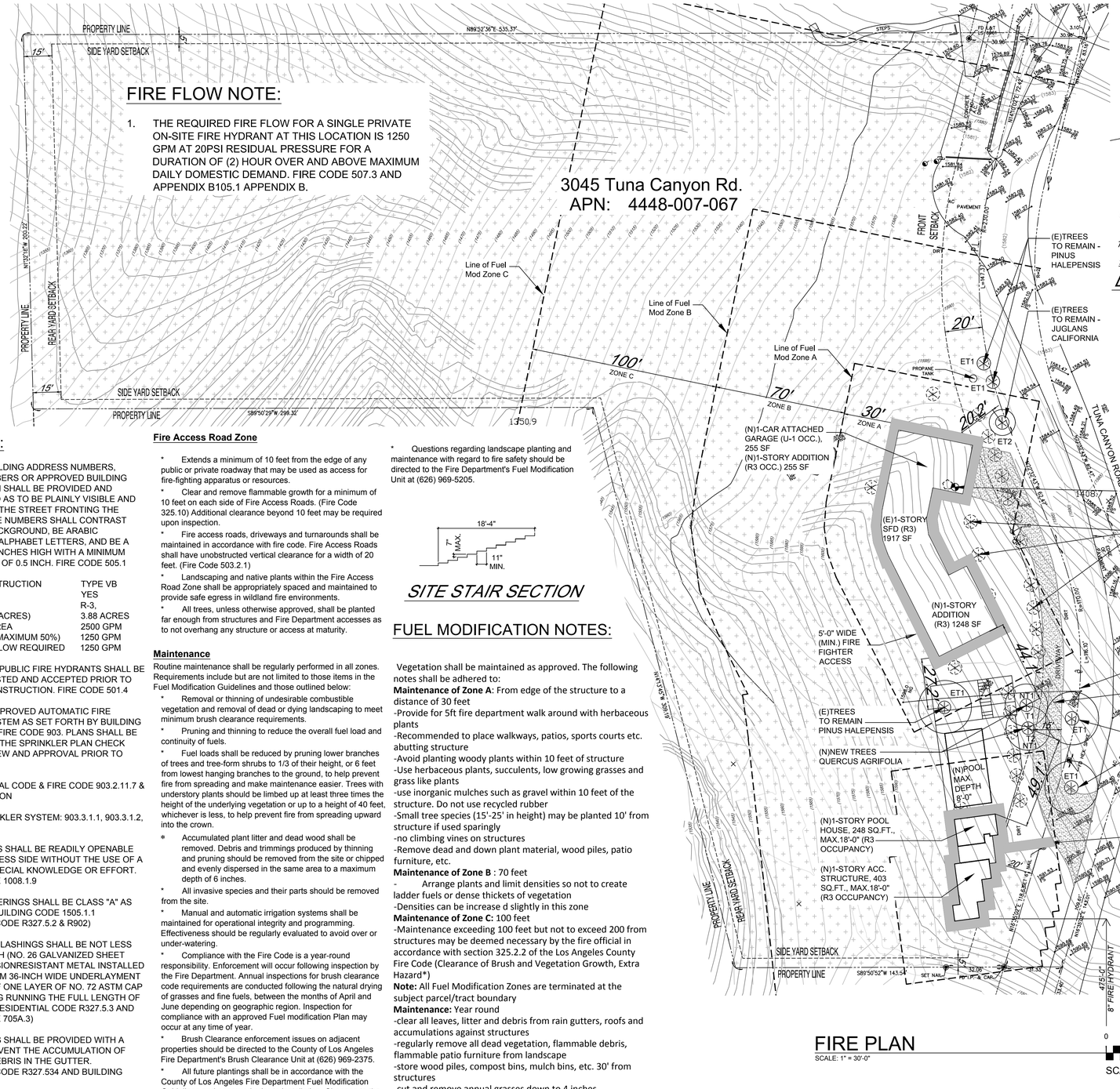
CA. FUEL MODIFICATION PLAN

SHEET ID:

G.0

September 23, 2020



FIRE PLAN

SCALE: 1" = 30'-0"

FIRE FLOW NOTE:

1. THE REQUIRED FIRE FLOW FOR A SINGLE PRIVATE ON-SITE FIRE HYDRANT AT THIS LOCATION IS 1250 GPM AT 20PSI RESIDUAL PRESSURE FOR A DURATION OF (2) HOUR OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 507.3 AND APPENDIX B105.1 APPENDIX B.

FIRE NOTES:

1. APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1

2. TYPE OF CONSTRUCTION — TYPE VB
   VHFHSZ — YES
   OCCUPANCY — R-3,
   SIZE OF LOT (ACRES) — 3.88 ACRES
   FIRE FLOW AREA — 2500 GPM
   REDUCTION (MAXIMUM 50%) — 1250 GPM
   TOTAL FIRE FLOW REQUIRED — 1250 GPM

3. ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4

4. PROVIDE AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM AS SET FORTH BY BUILDING CODE 903 AND FIRE CODE 903. PLANS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

REASON: RESIDENTIAL CODE & FIRE CODE 903.2.11.7 & FIRE FLOW REDUCTION

TYPE OF FIRE SPRINKLER SYSTEM: 903.3.1.1, 903.3.1.2, 903.3.1.3

5. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. BUILDING CODE 1008.1.9

6. ALL ROOF COVERINGS SHALL BE CLASS "A" AS SPECIFIED IN BUILDING CODE 1505.1.1 (RESIDENTIAL CODE R327.5.2 & R902)

7. ROOF VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSIONRESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET MEETING RUNNING THE FULL LENGTH OF THE VALLEY. (RESIDENTIAL CODE R327.5.3 AND BUILDING CODE 705A.3)

8. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R327.534 AND BUILDING CODE 705A.4)

9. CLEARANCE OF BRUSH AND VEGETATIVE GROWTH SHALL BE MAINTAINED PER FIRE CODE 325

Fire Access Road Zone

* Extends a minimum of 10 feet from the edge of any public or private roadway that may be used as access for fire-fighting apparatus or resources.
* Clear and remove flammable growth for a minimum of 10 feet on each side of Fire Access Roads. (Fire Code 325.10) Additional clearance beyond 10 feet may be required upon inspection.
* Fire access roads, driveways and turnarounds shall be maintained in accordance with fire code. Fire Access Roads shall have unobstructed vertical clearance for a width of 20 feet. (Fire Code 503.2.1)
* Landscaping and native plants within the Fire Access Road Zone shall be appropriately spaced and maintained to provide safe egress in wildland fire environments.
* All trees, unless otherwise approved, shall be planted far enough from structures and Fire Department accesses as to not overhang any structure or access at maturity.

Maintenance

Routine maintenance shall be regularly performed in all zones. Requirements include but are not limited to those items in the Fuel Modification Guidelines and those outlined below:

* Removal or thinning of undesirable combustible vegetation and removal of dead or dying landscaping to meet minimum brush clearance requirements.
* Pruning and thinning to reduce the overall fuel load and continuity of fuels.
* Fuel loads shall be reduced by pruning lower branches of trees and tree-form shrubs to 1/3 of their height, or 6 feet from lowest hanging branches to the ground, to help prevent fire from spreading and make maintenance easier. Trees with understory plants should be limbed up at least three times the height of the underlying vegetation or up to a height of 40 feet, whichever is less, to help prevent fire from spreading upward into the crown.
* Accumulated plant litter and dead wood shall be removed. Debris and trimmings produced by thinning and pruning should be removed from the site or chipped and evenly dispersed in the same area to a maximum depth of 6 inches.
* All invasive species and their parts should be removed from the site.
* Manual and automatic irrigation systems shall be maintained for operational integrity and programming. Effectiveness should be regularly evaluated to avoid over or under-watering.
* Compliance with the Fire Code is a year-round responsibility. Enforcement will occur following inspection by the Fire Department. Annual inspections for brush clearance code requirements are conducted following the natural drying of grasses and fine fuels, between the months of April and June depending on geographic region. Inspection for compliance with an approved Fuel modification Plan may occur at any time of year.
* Brush Clearance enforcement issues on adjacent properties should be directed to the County of Los Angeles Fire Department's Brush Clearance Unit at (626) 969-2375.
* All future plantings shall be in accordance with the County of Los Angeles Fire Department Fuel Modification Guidelines and approved prior to installation. Changes to the approved plan which require an additional plan review will incur a plan review fee.
* Questions regarding landscape planting and maintenance with regard to fire safety should be directed to the Fire Department's Fuel Modification Unit at (626) 969-5205.

SITE STAIR SECTION

FUEL MODIFICATION NOTES:

Vegetation shall be maintained as approved. The following notes shall be adhered to:

Maintenance of Zone A: From edge of the structure to a distance of 30 feet
-Provide for 5ft fire department walk around with herbaceous plants
-Recommended to place walkways, patios, sports courts etc. abutting structure
-Avoid planting woody plants within 10 feet of structure
-Use herbaceous plants, succulents, low growing grasses and grass like plants
-use inorganic mulches such as gravel within 10 feet of the structure. Do not use recycled rubber
-Small tree species (15'-25' in height) may be planted 10' from structure if used sparingly
-no climbing vines on structures
-Remove dead and down plant material, wood piles, patio furniture, etc.

Maintenance of Zone B : 70 feet
- Arrange plants and limit densities so not to create ladder fuels or dense thickets of vegetation
-Densities can be increase d slightly in this zone

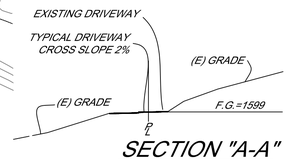
Maintenance of Zone C: 100 feet
-Maintenance exceeding 100 feet but not to exceed 200 from structures may be deemed necessary by the fire official in accordance with section 325.2.2 of the Los Angeles County Fire Code (Clearance of Brush and Vegetation Growth, Extra Hazard*)

Note: All Fuel Modification Zones are terminated at the subject parcel/tract boundary

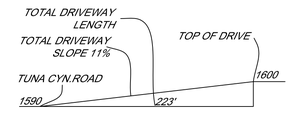
Maintenance: Year round
-clear all leaves, litter and debris from rain gutters, roofs and accumulations against structures
-regularly remove all dead vegetation, flammable debris, flammable patio furniture from landscape
-store wood piles, compost bins, mulch bins, etc. 30' from structures
-cut and remove annual grasses down to 4 inches
-Irrigation of any form shall be applied to maintain high fuel moisture. Irrigation to native plants is beneficial in small amounts 1-2 times per month during summer months

LEGEND:

EXISTING MAJOR CONTOUR --------



SECTION "A-A"



DRIVEWAY DETAIL "B-B"

FIRE DEPARTMENT ACCESS ROAD SHALL NOT EXCEED 15%

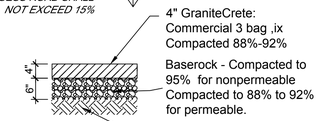
FIRE ACCESS LEGEND:

MIN. 5'-0" FIREFIGHTER WALKWAY ACCESS (<10% SLOPE) PAVERS

EXISTING VEGETATION TO REMAIN UNDISTURBED

GRANITECRETE DRIVEWAY: MIN. 15'-0" WIDE FIRE DEPARTMENT VEHICULAR ACCESS 'VERTICAL CLEARANCE MINIMUM: 13'-6" (11% MAX SLOPE)

NOTE:
"PRIVATE DRIVEWAY"
NO FIRE ACCESS REQUIRED - ALL AREAS OF STRUCTURE ARE WITHIN 150' OF TUNA CANYON.



GraniteCrete Paving - Commercial

TREE NOTE:

SEE SHEET L-1 FOR (N) & (E) TREE INFORMATION.

EXISTING TREES IN ZONE A TO BE REMOVED, UNLESS OTHERWISE NOTED.

BUILDING AREA:

MAIN HOUSE EXISTING:	1,917 SF
MAIN HOUSE ADDITION:	1,248 SF
ACCESSORY STRUCTURE:	403 SF
ATTACHED GARAGE ADDITION:	255 SF
POOL HOUSE:	248 SF
TOTAL SF:	4,071 SF

FIRE LANE PARKING NOTE:

1. Provide approved signs or other approved notices or markings that include the words NO PARKING - FIRE LANE. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. Signs shall be provided for fire apparatus access roads, to clearly indicate the entrance to such road. or prohibit the obstruction thereof and at intervals, as required by the Fire Inspector. Fire Code 503.3.

EXISTING VEGETATION NOTE:

ZONE A: is a mix of native ground cover
A. native ground cover, Senecio Serpens < 6" in height
B. native annual grasses and weeds not to exceed 3" in height.

ZONE B: is a mix of native ground cover and annual grasses < 12" in height as well as native shrubs, including Agave, Laurel Sumac - adequately spaced

ZONE C: is a mix of native ground cover and annual grasses that does not exceed 12" in height as well as native shrubs, Laurel Sumac - adequately spaced

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CA FIRE - PLAN & NOTES

SHEET ID:

F-1

September 23, 2020

GENERAL LANDSCAPE NOTES:

LANDSCAPE AND IRRIGATION PLANS SHALL COMPLY WITH ALL PUBLISHED REQUIREMENTS OF THE COUNTY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, MODEL WATER EFFICIENT ORDINANCE, CHAPTER 2.7. THE LANDSCAPE PLANS SHALL MEET THE FOLLOWING DESIGN CRITERIA:

DESIGN FOR THE EFFICIENT USE OF WATER, THE LANDSCAPE SHALL BE CAREFULLY DESIGNED AND PLANNED FOR THE INTENDED FUNCTION OF THE PROJECT.

1. PLANT MATERIAL

A. PLANTS WILL BE SELECTED FOR THE LANDSCAPE, PROVIDING THE ESTIMATED TOTAL WATER USE IN THE LANDSCAPE AREA DOES NOT EXCEED THE MAXIMUM APPLIED WATER ALLOWANCE. TO ENCOURAGE THE EFFICIENT USE OF WATER, THE PLANS INCLUDE THE FOLLOWING:
- A.A. PROTECTION AND PRESERVATION OF NATIVE SPECIES AND NATURAL VEGETATION;
- A.B. SELECTION OF WATER-CONSERVING PLANT AND TURF SPECIES;
- A.C. SELECTION OF PLANTS BASED ON DISEASE AND PEST RESISTANCE;
- A.D. SELECTION OF TREES BASED ON APPLICABLE LOCAL TREE ORDINANCES OR TREE SHADING GUIDELINES; AND
- A.E. SELECTION OF PLANTS FROM LOCAL AND REGIONAL LANDSCAPE PROGRAM PLANT LISTS.

B. EACH HYDROZONE SHALL HAVE PLANT MATERIALS WITH SIMILAR WATER USE, WITH THE EXCEPTION OF HYDROZONES WITH PLANTS OF MIXED WATER USE, AS SPECIFIED IN SECTION 492.7(A)(2)(D).

C. PLANTS SHALL BE SELECTED AND PLANTED APPROPRIATELY BASED UPON THEIR ADAPTABILITY TO THE CLIMATIC, GEOLOGIC, AND TOPOGRAPHICAL CONDITIONS OF THE PROJECT SITE. TO ENCOURAGE THE EFFICIENT USE OF WATER, THE PLANS INCLUDE THE FOLLOWING:
- C.A. USE OF THE SUNSET WESTERN CLIMATE ZONE SYSTEM WHICH TAKES INTO ACCOUNT TEMPERATURE, HUMIDITY, ELEVATION, TERRAIN, LATITUDE, AND VARYING DEGREES OF CONTINENTAL AND MARINE INFLUENCE ON LOCAL CLIMATE;
- C.B. RECOGNITION OF THE HORTICULTURAL ATTRIBUTES OF PLANTS (I.E., MATURE PLANT SIZE, INVASIVE SURFACE ROOTS) TO MINIMIZE DAMAGE TO PROPERTY OR INFRASTRUCTURE [E.G., BUILDINGS, SIDEWALKS, POWER LINES]; AND
- C.C. CONSIDERATION OF THE SOLAR ORIENTATION FOR PLANT PLACEMENT TO MAXIMIZE SUMMER SHADE AND WINTER SOLAR GAIN.
- C.D. MINIMUM TREE SIZES SHALL BE 5 GAL. SIZE. MINIMUM SHRUB AND VINE SIZES SHALL BE 1 GAL SIZE.

D. TURF IS NOT UTILIZED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE AND WHERE 25% MEANS 1 FOOT OF VERTICAL ELEVATION CHANGE FOR EVERY 4 FEET OF HORIZONTAL LENGTH (RISE DIVIDED BY RUN X100 = SLOPE PERCENT).

E. THE LANDSCAPE ADDRESSES FIRE SAFETY AND PREVENTION INCLUDING A DEFENSIBLE SPACE OR ZONE AROUND A BUILDING OR STRUCTURE AS REQUIRED PER PUBLIC RESOURCES CODE SECTION 4291(A) AND (B). AVOIDING FIRE-PRONE PLANT MATERIALS AND HIGHLY FLAMMABLE MULCHES.

F. INVASIVE AND/OR NOXIOUS PLANT SPECIES ARE NOT UTILIZED.

2. WATER FEATURES

A. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

B. WHERE AVAILABLE, RECYCLED WATER SHALL BE USED AS A SOURCE FOR DECORATIVE WATER FEATURES.

C. SURFACE AREA OF A WATER FEATURE SHALL BE INCLUDED IN THE HIGH WATER USE HYDROZONE AREA OF THE WATER BUDGET CALCULATION.

D. POOL AND SPA COVERS ARE UTILIZED.

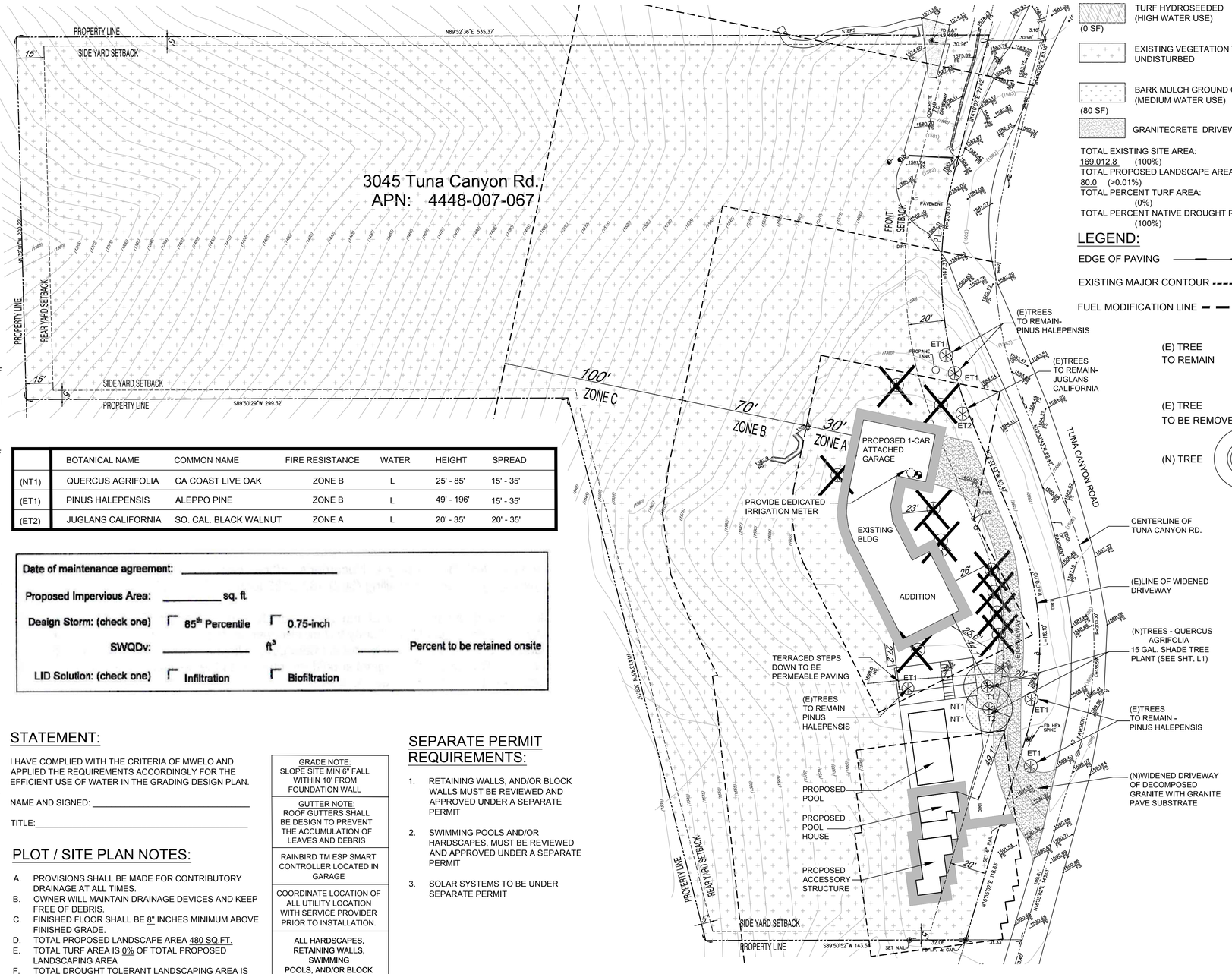
3. MULCH AND AMENDMENTS

A. A MINIMUM TWO INCH (2) LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

B. STABILIZING MULCHING PRODUCTS SHALL BE USED ON SLOPES.

C. THE MULCHING PORTION OF THE SEED/MULCH SLURRY IN HYDRO-SEEDED APPLICATIONS SHALL MEET THE MULCHING REQUIREMENT.

D. SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.



	BOTANICAL NAME	COMMON NAME	FIRE RESISTANCE	WATER	HEIGHT	SPREAD
(NT1)	QUERCUS AGRIFOLIA	CA COAST LIVE OAK	ZONE B	L	25' - 85'	15' - 35'
(ET1)	PINUS HALEPENSIS	ALEPPO PINE	ZONE B	L	49' - 196'	15' - 35'
(ET2)	JUGLANS CALIFORNIA	SO. CAL. BLACK WALNUT	ZONE A	L	20' - 35'	20' - 35'

Date of maintenance agreement: _____

Proposed Impervious Area: _____ sq. ft.

Design Storm: (check one) ☐ 85th Percentile ☐ 0.75-inch

SWQDv: _____ ft³ _____ Percent to be retained onsite

LID Solution: (check one) ☐ Infiltration ☐ Biofiltration

STATEMENT:

I HAVE COMPLIED WITH THE CRITERIA OF MWELO AND APPLIED THE REQUIREMENTS ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE GRADING DESIGN PLAN.

NAME AND SIGNED: _____

TITLE: _____

PLOT / SITE PLAN NOTES:

A. PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
B. OWNER WILL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS.
C. FINISHED FLOOR SHALL BE 8" INCHES MINIMUM ABOVE FINISHED GRADE.
D. TOTAL PROPOSED LANDSCAPE AREA 480 SQ.FT.
E. TOTAL TURF AREA IS 0% OF TOTAL PROPOSED LANDSCAPING AREA
F. TOTAL DROUGHT TOLERANT LANDSCAPING AREA IS 100% OF TOTAL PROPOSED LANDSCAPING AREA
G. HYDRO-ZONING IRRIGATION TECHNIQUES SHALL BE INCORPORATED INTO THE LANDSCAPE DESIGN.

GRADE NOTE:
SLOPE SITE MIN 6" FALL WITHIN 10' FROM FOUNDATION WALL

GUTTER NOTE:
ROOF GUTTERS SHALL BE DESIGN TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS

RAINBIRD TM ESP SMART CONTROLLER LOCATED IN GARAGE

COORDINATE LOCATION OF ALL UTILITY LOCATION WITH SERVICE PROVIDER PRIOR TO INSTALLATION.

ALL HARDSCAPES, RETAINING WALLS, SWIMMING POOLS, AND/OR BLOCK WALLS MUST BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT

SEPARATE PERMIT REQUIREMENTS:

1. RETAINING WALLS, AND/OR BLOCK WALLS MUST BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT
2. SWIMMING POOLS AND/OR HARDSCAPES, MUST BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT
3. SOLAR SYSTEMS TO BE UNDER SEPARATE PERMIT

LANDSCAPE HYDROZONE AREA:

- TURF HYDROSEEDED (HIGH WATER USE) (0 SF)
- EXISTING VEGETATION TO REMAIN UNDISTURBED
- BARK MULCH GROUND COVER (MEDIUM WATER USE) (80 SF)
- GRANITECRETE DRIVEWAY

TOTAL EXISTING SITE AREA: 169,012.8 (100%)
TOTAL PROPOSED LANDSCAPE AREA: 80.0 (>0.01%)
TOTAL PERCENT TURF AREA: (0%)
TOTAL PERCENT NATIVE DROUGHT RESISTANT (100%)

LEGEND:

- EDGE OF PAVING
- EXISTING MAJOR CONTOUR
- FUEL MODIFICATION LINE
- (E) TREE TO REMAIN
- (E) TREE TO BE REMOVED
- (N) TREE

LANDSCAPE PLAN

SCALE: 1" = 30'-0"

0 15' 30' 60'

SCALE: 1" = 30'-0"

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LANDSCAPE PLAN

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September 23, 2020

WATER AUDIT NOTE

THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR, AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS ARE INSTALLED IN ACCORDANCE WIT THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS
ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.

THE IRRIGATION AUDIT WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

1. PLACE FLAGS AT EACH HEAD IN THE ZONE.
2. MEASURE SPACING AND MARK MID-POINTS BETWEEN HEADS.
3. PLACE WATER MEASURING RECEPTACLES.
4. TAKE READINGS OF WATER LEVEL IN RECEPTACLES AND RECORD RESULTS.
5. MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS.
6. AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE.
7. SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT.

THE IRRIGATION MAINTENANCE SCHEDULE TASKS LISTED BELOW ARE INTENDED AS MINIMUM STANDARDS AND MORE FREQUENT ATTENTION MAY BE REQUIRED DEPENDING ON THE PARTICULAR SITE CONDITIONS.

MAINTENANCE TASK	FREQUENCY
1. CONTROLLER CABINET - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET, IF NECESSARY.	QUARTERLY
2. IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH ADJUST AS NECESSARY.	MONTHLY
3. POC - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT REPAIR AS NEEDED	.QUARTERLY
4. REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTINGS. REPAIR OR ADJUST AS NEEDED.	QUARTERLY
5. MAINLINE AND LATERALS VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH.	QUARTERLY
6. SPRINKLERS VISUALLY CHECK FOR ANY BROKEN MISSIGNED OR CLOGGED HEADS. HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE REPAIR AS NEEDED.	WEEKLY
7. FILTERS AND STRAINERS VISUALLY CHECK FOR LEAKS, BROKEN FITTING CLEAN AND FLUSH SCREENS.	MONTHLY

AUDIT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LATEST LANDSCAPE IRRIGATION AUDITOR HANDBOOK. THE LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AND THE AUDIT SCHEDULE SHALL BE CONDUCTED AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE LOS ANGELES COUNTY CODE.

MAINTENANCE SCHEDULES:

MAINTENANCE SCHEDULES. A REGULAR MAINTENANCE SCHEDULE SATISFYING THE FOLLOWING CONDITIONS SHALL BE SUBMITTED AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.

LANDSCAPE SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT,
RESETTING THE AUTOMATIC CONTROLLER, AERATING AND DETHATCHING TURF AREAS, REPLENISHING MULCH, FERTILIZING, PRUNING, AND WEEDING IN ALL LANDSCAPE AREAS.

WHENEVER POSSIBLE, REPAIR OF IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENTS.

A LANDSCAPE IRRIGATION AUDIT SCHEDULE AS REQUIRED IN CHAPTER 20.09 OF TITLE 20 MAY BE RECOMMENDED. THE MAXIMUM PERIOD BETWEEN AUDITS SHALL BE FIVE YEARS.

IRRIGATION AUDIT SCHEDULES:

LANDSCAPE IRRIGATION AUDIT SCHEDULES. A SCHEDULE OF LANDSCAPE IRRIGATION AUDITS OF AT LEAST EVERY FIVE YEARS MUST BE ESTABLISHED, FOR ALL BUT SINGLE-FAMILY RESIDENCES, AND OTHER PROJECTS WITH A LANDSCAPE AREA LESS THAN 1 ACRE (0.405 HA). AS REQUIRED IN CHAPTER 20.09 OF TITLE 20 (UTILITIES CODES), AN AUDIT SATISFYING THE FOLLOWING CONDITIONS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.

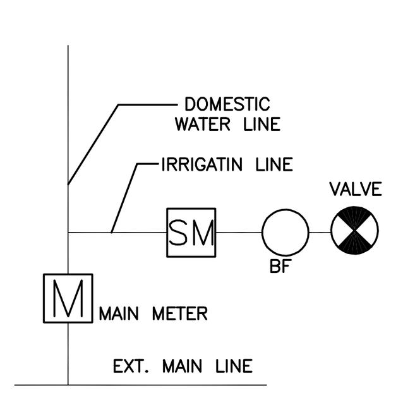
AT A MINIMUM, AUDITS SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LANDSCAPE IRRIGATION AUDITOR HANDBOOK,
PREPARED FOR THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, WATER CONSERVATION OFFICE, THE ENTIRE DOCUMENT, WHICH IS HEREBY INCORPORATED BY REFERENCE.

THE SCHEDULE SHALL PROVIDE FOR LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AS DETERMINED BY THE DIRECTOR AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE LOS ANGELES COUNTY CODE.

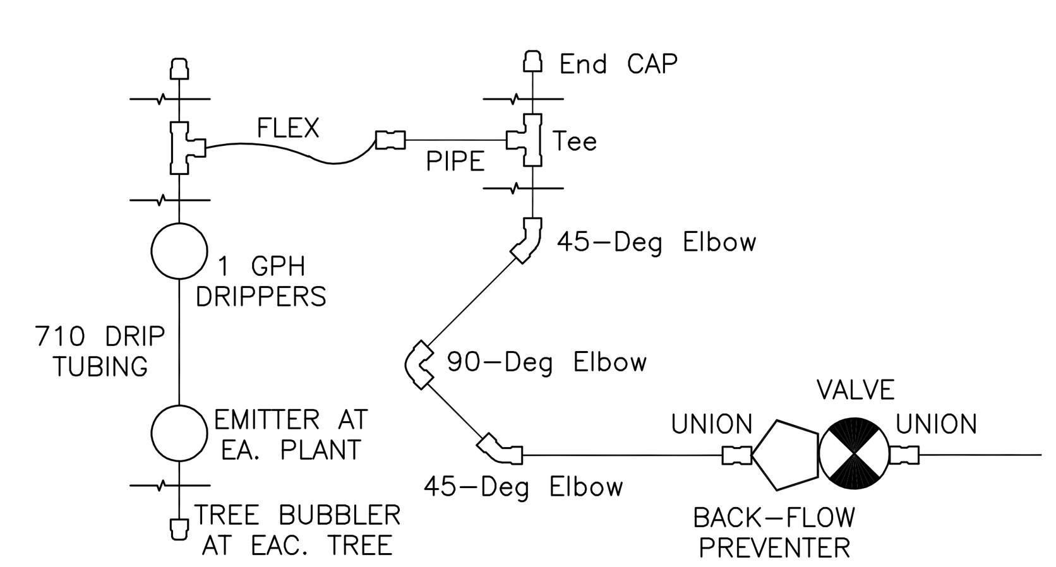
MONUMENT NOTE:

CONTRACTOR TO PROTECT AND PRESERVE IN PLACE ALL EXISTING SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE RESET BY A LICENSED LAND SURVEYOR AND THE APPROPRIATE CORNER RECORD SHALL BE FILED WITH THE COUNTY OF LOS ANGELES.

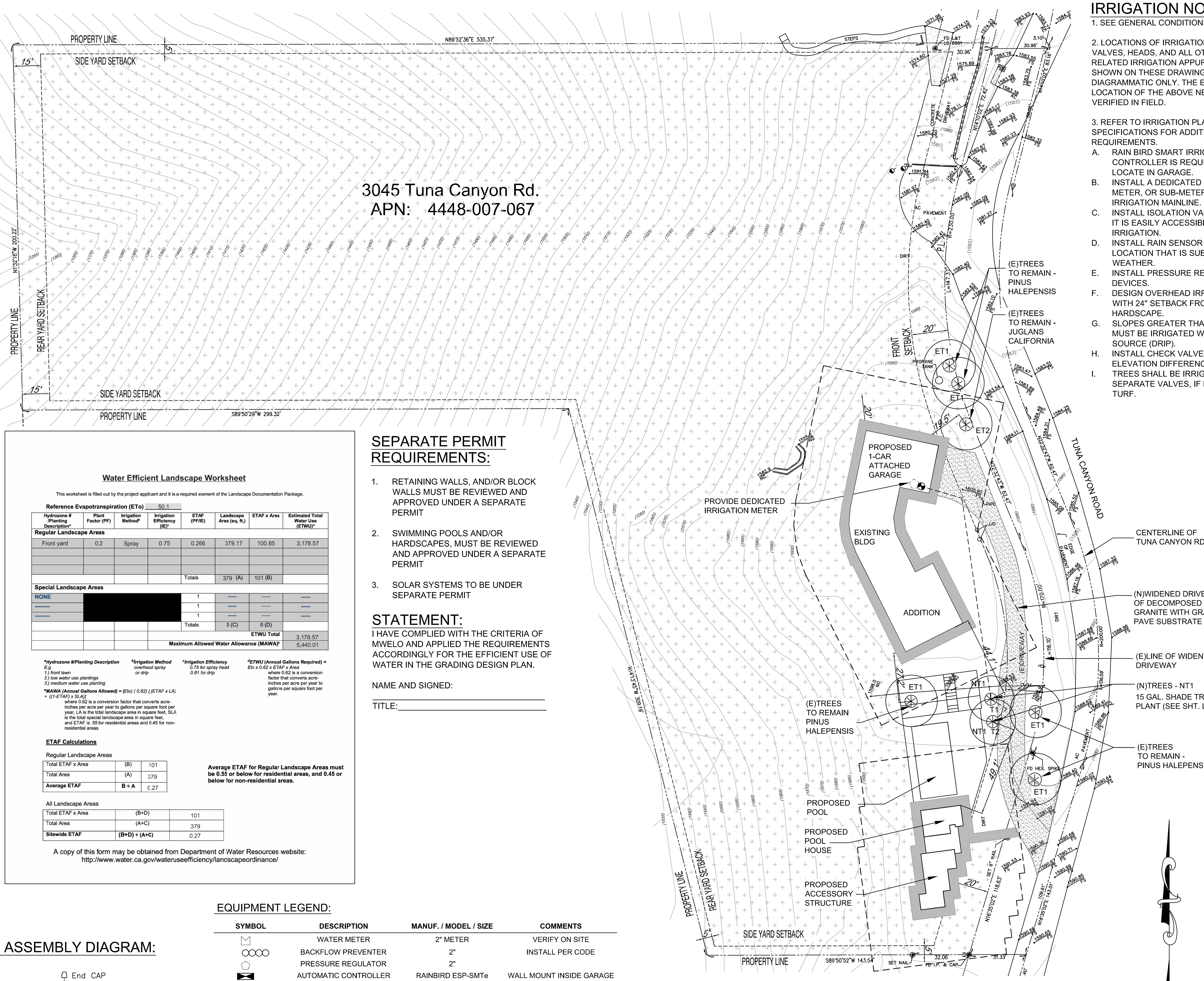
IRRIGATION METER DIAGRAM:



IRRIGATION ASSEMBLY DIAGRAM:



September 23, 2020



Water Efficient Landscape Worksheet

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 50.1

Hydrozone # /Planting Description[a]	Plant Factor (PF)	Irrigation Method[b]	Irrigation Efficiency (IE)[c]	ETAF (PF/IE)	Landscape Area (sq, ft,)	ETAF x Area	Estimated Total Water Use (ETWU)[e]
Regular Landscape Areas							
Front yard	0.2	Spray	0.75	0.266	379.17	100.85	3,178.57
				Totals	379 (A)	101 (B)	
Special Landscape Areas							
NONE	[redacted]			1	-----	-----	-----
--------				1	-----	-----	-----
--------				1	-----	-----	-----
				Totals	0 (C)	0 (D)	
						ETWU Total	3,178.57
						Maximum Allowed Water Allowance (MAWA)[e]	5,440.01

[a]Hydrozone #/Planting Description
E.g
1.) front lawn
2.) low water use plantings
3.) medium water use planting

[b]Irrigation Method
overhead spray
or drip

[c]Irrigation Efficiency
0.75 for spray head
0.81 for drip

[d]ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

[e]MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B)	101
Total Area	(A)	379
Average ETAF	**B ÷ A**	0.27

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D)	101
Total Area	(A+C)	379
Sitewide ETAF	**(B+D) ÷ (A+C)**	0.27

A copy of this form may be obtained from Department of Water Resources website:
http://www.water.ca.gov/wateruseefficiency/lancscapeordinance/

SEPARATE PERMIT REQUIREMENTS:

1. RETAINING WALLS, AND/OR BLOCK WALLS MUST BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT
2. SWIMMING POOLS AND/OR HARDSCAPES, MUST BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT
3. SOLAR SYSTEMS TO BE UNDER SEPARATE PERMIT

STATEMENT:

I HAVE COMPLIED WITH THE CRITERIA OF MWELO AND APPLIED THE REQUIREMENTS ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE GRADING DESIGN PLAN.

NAME AND SIGNED:

____

TITLE:______________________________

EQUIPMENT LEGEND:

SYMBOL	DESCRIPTION	MANUF. / MODEL / SIZE	COMMENTS
	WATER METER	2" METER	VERIFY ON SITE
	BACKFLOW PREVENTER	2"	INSTALL PER CODE
	PRESSURE REGULATOR	2"	
	AUTOMATIC CONTROLLER	RAINBIRD ESP-SMTe	WALL MOUNT INSIDE GARAGE
	BALL VALVE	0'-1"	
	QUICK COUPLER	RAINBIRD 44LRC	
	REMOTE CONTROL VALVE	RAINBIRD PEB	
	REMOTE CONTROL DRIP VALVE	RAINBIRD XCZ 1"	WITH PRESSURE REGULATOR
	MAINLINE	1" SCHEDULE 40 PVC PIPE	
	LANDSCAPE DRIPLINE	710 DRIP TUBING	
	SLEEVE (PVC)	SCHEDULE 40 PVC PIPE	2X'S DIAMETER &12" BELOW GRADE
NO SYMBOL	CONTROL WIRE	#14UF AWG DIRECT BURIAL	TAPE TO MAINLINE IN SPERATE SLEEVE
NO SYMBOL	3M WIRE CONNECTORS	DIRECT BURIAL	USE ON ALL CONNECTORS

IRRIGATION LAYOUT PLAN

SCALE: 1" = 30'-0"

0 15' 30' 60'

SCALE: 1" = 30'-0"

IRRIGATION NOTES:

1. SEE GENERAL CONDITIONS NOTES.

2. LOCATIONS OF IRRIGATION LINES, VALVES, HEADS, AND ALL OTHER RELATED IRRIGATION APPURTENANCES SHOWN ON THESE DRAWINGS ARE DIAGRAMMATIC ONLY. THE EXACT LOCATION OF THE ABOVE NEED TO BE VERIFIED IN FIELD.

3. REFER TO IRRIGATION PLANS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

A. RAIN BIRD SMART IRRIGATION CONTROLLER IS REQUIRED, LOCATE IN GARAGE.
B. INSTALL A DEDICATED IRRIGATION METER, OR SUB-METER ON IRRIGATION MAINLINE.
C. INSTALL ISOLATION VALVE WHERE IT IS EASILY ACCESSIBLE FOR IRRIGATION.
D. INSTALL RAIN SENSOR IN A LOCATION THAT IS SUBJECTED TO WEATHER.
E. INSTALL PRESSURE REGULATION DEVICES.
F. DESIGN OVERHEAD IRRIGATION WITH 24" SETBACK FROM HARDSCAPE.
G. SLOPES GREATER THAN 15% MUST BE IRRIGATED WITH POINT SOURCE (DRIP).
H. INSTALL CHECK VALVES WHERE ELEVATION DIFFERENCE OCCURS.
I. TREES SHALL BE IRRIGATED WITH SEPARATE VALVES, IF NOT IN TURF.

TJB DESIGNS, LLC
CALABASAS, CA.
PH: 813.846.1511
TJBDRAFTING.COM

RECORD SIGNATURE:

3045 TUNA CANYON ROAD

3045 TUNA CANYON ROAD
TOPANGA, CA. 90290

PROJECT INFO: QR CODE

PLOTTED: 9/23/2020	
PLOTTED BY: LMB	
11/28/19_3045 Tuna Canyon Rd	
PROJECT NO:	1908
DRAWN BY:	TJB
CHECKED BY:	XXX

RELEASE DATE:
09/23/2020

REV #	DATE / DESCRIPTION

SHEET TITLE:

LANDSCAPE IRRIGATION PLAN

SHEET ID:

L2

GENERAL CONDITIONS NOTES:

1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:

A. THESE GENERAL NOTES, AND CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.

B. ALL APPLICABLE LOCAL, STATE,AND FEDERAL CODES, ORDINANCES AND REGULATIONS. ALL CODES LISTED IN SPECIFICATIONS AND DRAWINGS SHALL BE INCLUSIVE OF ALL CODES, REGULATIONS AND REQUIREMENTS ADOPTED BY THE STATE OF CALIFORNIA, INCLUDING ALL AMENDMENTS.

2. SOURCE OF BASE INFORMATION IS ASSUMED TO BE CORRECT. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.

3. VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.

4. CONTACT LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION, PRIOR TO COMMENCING WORK.

5. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.

SITE DEMOLITION NOTES:

1. ITEMS SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL. REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.

2. VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.

3. ALL CONCRETE AND ASPHALT REMOVAL SHALL BE SAW CUT. EDGES OF MATERIAL TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES TO BE DONE WITH CARE AND AT NO COST TO THE OWNER.

4. ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO ATTENTION.

5. SALVAGE EXISTING MATERIALS AS INDICATED ON THE PLANS. REMOVE SALVAGED MATERIALS AS INDICATED WITH CARE AND STORE ON SITE; CLEAN ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SALVAGED ITEMS; REUSE AS DIRECTED.

6. REMOVE DEMOLISHED MATERIALS FROM SITE. DISPOSAL BY BURNING AND/OR BURYING IS PROHIBITED.

7. CONTACT THE LOCAL UNDERGROUND SERVICE UPDATE FOR UTILITY LOCATION AND IDENTIFICATION PRIOR TO DEMOLITION.

8. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS; ADDITIONAL UTILITIES NOT SHOWN ON THE DRAWINGS MAY EXIST. VERIFY IN THE FIELD THE DATA SHOWN, AND CALL ANY DISCREPANCIES TO ATTENTION.

AERIAL PHOTOGRAPH:

SOIL PREPARATION:

SOIL PREPARATION OF A LANDSCAPE DESIGN IS A CRITICAL FACTOR IN CREATING A HEALTHY AND LONG-LASTING LANDSCAPE.

1. REMOVE EXISTING TOPSOIL AND STOCKPILE ON SITE. TOPSOIL TO BE INCORPORATED BACK INTO THE SOIL AT A LATER DATE. CONTRACTOR TO CONDUCT A SOIL EVALUATION TO DETERMINE THE SOIL'S COMPOSITION, COMPACTION RATE, NUTRIENT QUALITIES, ORGANIC CONTENT, PH LEVELS, AND WATER HOLDING CAPABILITIES. THE IDEAL PARTICLE SOIL MIX IS APPROXIMATELY 45% SAND, 40% SILT, 10% CLAY AND 5% ORGANIC MATERIAL WITH A PH LEVEL NEAR SEVEN.

2. PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.

3. CONTRACTOR TO DE-COMPACT SOILS IN PLANTING AREAS BY ROTO-TILLING, DISKING OR RIPPING TO A DEPTH OF 6 - 8" MINIMUM AND PREFERABLY A DEPTH OF 12" - 18". DE-COMPATION OF SMALL PLANTER AREAS, SUCH AS THOSE IN PARKING LOT AREAS, MAY REQUIRE THE REMOVAL OF THE COMPACTED SOIL TO A DEPTH OD 18/" OR MORE AND THEN RE-INSTALLED LOOSELY WITH REQUIRED AMENDMENTS. ALWAYS REMOVE DEBRIS OVER 2" IN SIZE FROM THE SOIL.

4. WHEN PERFORMING SOIL DE-COMPACTION, MULTIPLE PASSES ACROSS THE AREA WILL BE REQUIRED AND, WHEN POSSIBLE, SHOULD BE AT VARYING ANGLES TO ENSURE ADEQUATE COVERAGE. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO-TILLER TO BREAK UP ANY LARGE CLUMPS TO MAKE FINAL GRADING EASIER.

5. AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. THE ADDITION OF SOIL AMENDMENTS IS DETERMINED FROM SOIL TESTS CONDUCTED PRIOR TO WORK COMMENCING. SOIL AMENDMENT MAY INCLUDE INORGANIC MATERIAL SUCH AS SAND, SILT OR CLAY, WHICH HELP IMPROVE SOIL TEXTURE. ORGANIC MATERIAL SUCH AS COMPOST, MANURE, AND PEAT MOSS MAY ALSO BE USED AND HELP IMPROVE SOIL STRUCTURE. OTHER AMENDMENTS SUCH AS FERTILIZER IMPROVE NUTRIENT CONTENT AND SULFUR ADJUSTS THE SOIL PH LEVEL. SULFUR SHALL BE INCORPORATED AT THE RATE OF ONE POUND OF SULFUR PER 100 SQUARE FEET.

6. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL AND AN ADDITIONAL SOIL TEST WILL BE TAKEN TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.

7. DURING THE REMAINDER OF THE LANDSCAPE INSTALLATION, VARIOUS AREAS OF THE SITE MAY BE RE-COMPACTED DUE TO THE USE OF THE EQUIPMENT AN VEHICLES. THIS COMPACTION IS TYPICALLY LIMITED TO THE UPPER 4 - 6" OF THE SOIL. PRIOR TO THE INSTALLATION OF PLANT MATERIAL IN THESE AREAS, THE COMPACTION SHALL BE REDUCED TO 80% OR LESS USING PREVIOUSLY DESCRIBED METHODS.

LANDSCAPE PLANTING NOTES:

1. REFER TO BASE SHEETS FOR PLANTING LOCATIONS.

2. REFER TO CIVIL ENGINEER'S UTILITY AND GRADING AND DRAINAGE PLANS FOR UTILITY LOCATION AND DRAINAGE INFORMATION. REFER TO CIVIL ENGINEER'S GRADING PLANS FOR GRADING INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN THE PLANS, CONTACT THE DESIGNER OF RECORD FOR DIRECTION AS TO HOW TO PROCEED.

3. VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT DESIGNER OF RECORD FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.

4. EXACT LOCATIONS OF PLANT MATERIALS TO BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPER AND DESIGNER OF RECORD RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.

5. VERIFY PLANT COUNTS AND SQUARE FOOTAGES: QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL.

6. CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.

7. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.

8. TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING.

9. TREES TO BE PLANTED A MINIMUM OF 4 FEET FROM FACE OF BUILDING, OR PAVEMENT, EXCEPT AS APPROVED.

10. PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.

11. PRUNE NEWLY PLANTED TREES ONLY AS DIRECTED.

12. ALIGN AND EQUALLY SPACE IN ALL DIRECTIONS TREES AND SHRUBS SO DESIGNATED PER THESE NOTES AND DRAWINGS.

13. FINISH GRADES OF PLANTER AREAS SHALL BE 2 INCHES BELOW ADJACENT PAVING OR TOP OF WALL UNLESS OTHERWISE NOTED.

14. PROVIDE SPECIFIED EDGING AS DIVIDER BETWEEN PLANTING BEDS.

15. REMOVE ENTIRE WIRE CAGE FROM ROOTBALL.

16. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.

17. LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPHS PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.

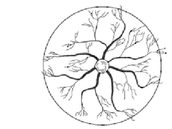
TREE PRESERVATION NOTES:

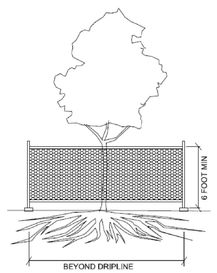
1. ALL TREES TO BE PRESERVED AS INDICATED ON THE LANDSCAPE DEMOLITION PLAN SHALL BE PROTECTED BY 6' MAIN LINK FENCE. THE FENCE SHALL BE LOCATED AT A 5 FT. RADIUS FROM THE EDGE OF THE TRUNK. THE FENCE SHALL BE FIRMLY ANCHORED INTO THE GROUND AND SHALL REMAIN UPRIGHT AND INTACT UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETE.CONSTRUCTION ACTIVITIES OR STORAGE SHALL NOT OCCUR WITHIN THESE PROTECTED AREAS. THE CONTRACTOR SHALL STAKE THE PROTECTIVE FENCING LOCATION. THE LOCATION OF THE PROTECTIVE FENCING SHALL BE APPROVED ONSITE PRIOR TO THE START OF ANY SITE WORK.

2. WHEN EXCAVATION NEAR A TREE TO BE PROTECTED MUST BE CARRIED OUT, DAMAGE CAN BE LIMITED BY ROOT PRUNING. ROOT PRUNING SHALL BE COMPLETED BEFORE GRADING IS STARTED AND SHALL OCCUR BENEATH THE PROTECTIVE FENCING AS SHOWN ON THE PLAN.

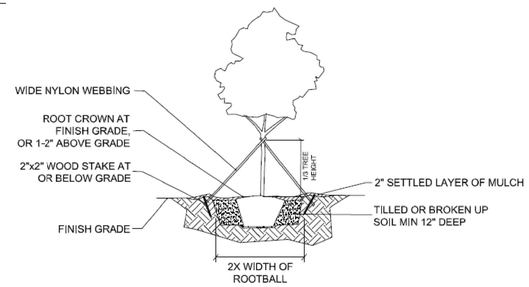
3. ROOT PRUNING SHALL BE PERFORMED, WHEN REQUIRED, WITH A TRENCHER SUCH AS A TELEPHONE CABLE PULLER OR A "DITCH WITCH" PRIOR TO ADJACENT EXCAVATION. THE TRENCHING SHALL BE TO A MINIMUM DEPTH OF 24" OR THE DEPTH OF EXCAVATION. THE CONTRACTOR SHALL STAKE THE LIMIT OF ROOT PRUNING AS PER THE PLAN. LIMITS OF TRENCHING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING IN THE FIELD. DO NOT TRENCH FOR IRRIGATION OR ELECTRICAL WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.

4. THE BEST METHOD TO AVOID SOIL COMPACTION IS TO KEEP OFF. THIS INCLUDES RESTRICTING ALL TRAFFIC BOTH VEHICULAR AND PEDESTRIAN FROM CROSSING OVER THE ROOT ZONES, AND RESTRICTING EVEN TEMPORARY MATERIAL STORAGE UNDER TREES.

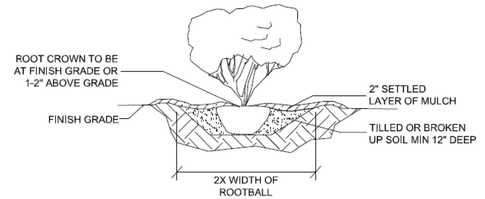




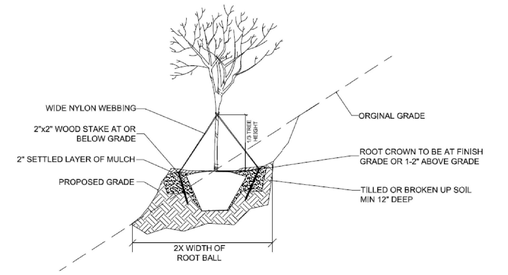
TREE PROTECTION
SCALE: 1" = NTS



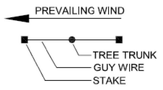
TREE PLANTING
SCALE: 1" = NTS



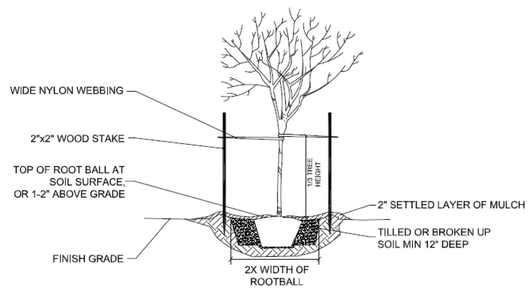
SHRUB PLANTING
SCALE: 1" = NTS



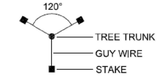
TREE PLANTING ON SLOPE
SCALE: 1" = NTS



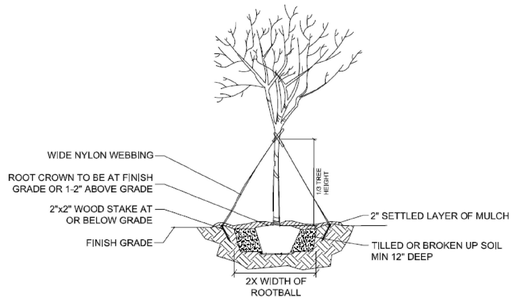
PLAN VIEW



SMALL TREE PLANTING <2" CAL.
SCALE: 1" = NTS



PLAN VIEW



TREE PLANTING >2" CAL.
SCALE: 1" = NTS

TJB DESIGNS, LLC
CALABASAS, CA.
PH: 813.846.1511
TJBDRAFTING.COM

RECORD SIGNATURE:

3045 TUNA CANYON ROAD

3045 TUNA CANYON ROAD
TOPANGA, CA. 90290

PROJECT INFO: QR CODE

PLOTTED: 9/23/2020	
PLOTTED BY: LMB	
11/28/19_3045 Tuna Canyon Rd	
PROJECT NO:	1908
DRAWN BY:	TJB
CHECKED BY:	XXX

RELEASE DATE: 09/23/2020

REV #	DATE / DESCRIPTION

SHEET TITLE:

LANDSCAPE GENERAL PLANTING NOTES AND DETAILS

SHEET ID:

L3

September 23, 2020